

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
REGULAR MEETING AGENDA**

Regular Meeting
City Hall
East Side of Monte Verde Street
Between Ocean & Seventh Avenues

June 8, 2016
Wednesday
Tour: 2:00 p.m.
Meeting: 4:00 p.m.

A. CALL TO ORDER AND ROLL CALL

Commissioners: Don Goodhue, Chair
 Keith Paterson, Vice-Chair
 Michael LePage
 Ian Martin

B. TOUR OF INSPECTION

Shortly after 2:00 p.m., the Commission will leave the Council Chambers for an on-site Tour of Inspection of all properties listed on this agenda (including those on the Consent Agenda). The Tour may also include projects previously approved by the City and not on this agenda. Prior to the beginning of the Tour of Inspection, the Commission may eliminate one or more on-site visits. The public is welcome to follow the Commission on its tour of the determined sites. The Commission will return to the Council Chambers at **4:00 p.m.** or as soon thereafter as possible.

C. ROLL CALL

D. PLEDGE OF ALLEGIANCE

E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

F. APPEARANCES

Anyone wishing to address the Commission on matters not on the agenda, but within the jurisdiction of the Commission, may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Commission agenda will not receive action at this meeting but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

G. CONSENT AGENDA

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Draft minutes from the April 13, 2016 Planning Commission Meeting
2. Draft minutes from the May 11, 2016 Planning Commission Meeting
3. DS 16-171 (Loewy)
Brian Congleton
Mission 2 SW of 1st Ave
Block: 11; Lot: 7
APN: 010-121-021
Consideration of the re-issuance of a Design Study (DS 16-171) and associated Coastal Development Permit with revisions for the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District located in the Single-Family Residential (R-1), Park Overlay (P) and Very High Fire Hazard Severity (VHFHS) Zoning Districts

H. PUBLIC HEARINGS

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

1. City of Carmel-by-the-Sea
Carmel Beach Shoreline
Presentation and update on the Shoreline Assessment Report
2. DS 15-466 (Murphy)
Richard Rhodes
Camino Real, 3 SE of Ocean Avenue
Block: G; Lots: 8 & 10
APN: 010-261-011
Consideration of roofing material for a previously approved Design Study (DS 15-466) authorizing the demolition of an existing residence and construction of a new residence located in the Single-Family Residential (R-1) Zoning District.
3. AD 16-216 (Carmel eBike)
Ryan Bell
Dolores, 3 SW of 5th Avenue
Blk: 55; Lots 5 & 7
APN: 010-138-003
Consideration of an Administrative Determination (AD 16-216) for the acceptability of a bicycle rental shop at a site located in the Service Commercial (SC) Zoning District

- | | |
|---|---|
| <p>4. DS 16-051 (Taylor)
Holdren & Lietzke
NW Cor. of Camino Real & Ocean Ave.
Blk: GG; Lots: 1, 3, & 5
APN: 010-252-011</p> | <p>Consideration of a Combined Concept and Final Design Study (DS 16-051) and associated Coastal Development Permit for the remodel of an existing historic residence located in the Single-Family Residential (R-1) Zoning District.</p> |
| <p>5. DS 16-177 (Kronenberger)
Mark Thompson Design
SE Cor. of San Antonio St. & 11th Ave.
Blk: X; Lot: 2
APN: 010-279-016</p> | <p>Consideration of a Concept Design Study (DS 16-177) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District.</p> |
| <p>6. DS 16-153 (O'Brien)
Claudio Ortiz Design Group
Lincoln Street, 5 SE of 12th Avenue
Blk: 136; Lot: 12
APN: 010-171-016</p> | <p>Consideration of a Concept Design Study (DS 16-153) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District.</p> |
| <p>7. DS 16-172 (Entis)
Claudio Ortiz Design Group
Casanova Street, 2 SW of 12th Avenue
Blk: AA; Lot: 03
APN: 010-281-003</p> | <p>Consideration of a Concept Design Study (DS 16-172) and associated Coastal Development Permit for demolition of an existing residence and construction of a new residence in the Single-Family Residential (R-1) Zoning District.</p> |
| <p>8. UP 16-181 (Café Artemis)
Erkan Demir
Ocean Avenue, 3 SW of Mission St.
Blk: 77; Lot: 3
APN: 010-141-001</p> | <p>Consideration of a Use Permit (UP 16-181) application for a new full-service restaurant located in the Central Commercial (CC) Zoning District</p> |

I. DIRECTOR'S REPORT

1. Discussion on Permitted Uses vs. Conditional Uses
2. Update on department activities

J. SUB-COMMITTEE REPORTS

1. Restaurant Subcommittee update
2. War Memorial Subcommittee update

K. ADJOURNMENT

The next meeting of the Planning Commission will be:

Wednesday, July 13, 2016

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. Carmel-by-the-Sea City Hall is an accessible facility. The City of Carmel-by-the-Sea telecommunications device for the Deaf/Speech Impaired (T.D.D.) Number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request of the Administrative Coordinator. If you need assistance, please advise the Planning Commission Secretary what item you would like to comment on and the microphone will be brought to you.

NO AGENDA ITEM WILL BE CONSIDERED AFTER 8:00 P.M. UNLESS AUTHORIZED BY A MAJORITY VOTE OF THE PLANNING COMMISSION. ANY AGENDA ITEMS NOT CONSIDERED AT THE MEETING WILL BE CONTINUED TO A FUTURE DATE DETERMINED BY THE COMMISSION.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning & Building Department located in City Hall, east side of Monte Verde between Ocean & 7th Avenues, during normal business hours.

AFFIDAVIT OF POSTING

I, Marc Wiener, Interim Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln Avenues and the Carmel Post Office.

Dated this 2nd day of June 2016 at the hour of 4:00 p.m.

Marc Wiener
Interim Community Planning and Building Director

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION REGULAR MEETING – MINUTES
April 13, 2016

A. CALL TO ORDER AND ROLL CALL FOR TOUR OF INSPECTION

PRESENT: Commissioners: Martin, Paterson, Reimers, LePage and Goodhue

ABSENT: NONE

STAFF PRESENT: Marc Wiener, Acting Planning & Building Director
Ashley Hobson, Contract Planner
Matthew Sundt, Contract Planner
Catherine Tarone, Assistant Planner
Cortina Whitmore, Planning Commission Secretary

B. TOUR OF INSPECTION

The Commission convened at 2:15 p.m. and then toured the following sites:

- DR 15-405 (Cordano), Carmelo St. 4 SE of Ocean ; Blk: M, Lot: 12 & 14
- DR 15-414 (Sadaati), Monte Verde St., 2 SW of 13th; Blk: 146, Lots: 3,5 & pt. of 7
- DS 15-158 (Henderson), 26336 Scenic Rd.; Blk: B-18, Lots: 1 & 2
- DS 16-068 (OSBT Investments), Vizcaino, 10 SE Of Mountain View; Blk: 103, Lot :24
- DS 16-069 (Lehman), Vizcaino, 11 SE of Mountain View; Blk: 103, Lot: 24
- DS 16-072 (Tope), Forest Rd., 2 NW of 7th, Blk: 8, Lot: 7
- DS 16-023 (Salehi), NE corner of Monte Verde and 3rd Ave.; Blk: 31, Lot: 20

C. ROLL CALL

Chairman Goodhue called the meeting to order at 4:00 p.m.

D. PLEDGE OF ALLEGIANCE

Members of the audience joined Commission Members in the Pledge of Allegiance.

E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

N/A

F. APPEARANCES

N/A

G. CONSENT AGENDA

Items placed on the Consent Agenda are considered to be routine and are acted upon by the Commission in one motion. There is no discussion of these items prior to the Commission action unless a member of the Commission, staff, or public requests specific items be discussed and removed from the Consent Agenda. It is understood that the staff recommends approval of all consent items. Each item on the Consent Agenda approved by the Commission shall be deemed to have been considered in full and adopted as recommended.

1. Draft minutes from the March 9, 2016 Planning Commission Special Meeting.

The draft minutes were not available for Planning Commission to review prior to the April 13, 2016 meeting.

- | | |
|--|---|
| 2. DS 16-072 (Tope)
Jim Tullis
Forest Rd., 2 NW of 7th
Blk:83, Lot:7
APN: 010-041-007 | Consideration of a Track One Design Study referral (DS 16-072) for the construction of a new detached garage located in the front-yard setback of a residence located in the Single-Family Residential (R-1) Zoning District |
| 3. DS 16-024 (BSI Holdings)
Saroyan Masterbuilders
SWC of Santa Lucia & Dolores
Blk:83, Lot:7
APN: 010-041-007 | Consideration of a Final Design Study (DS 16-024) and associated Coastal Development Permit for an addition and substantial alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District |

Commissioner Reimers moved to accept Consent Agenda items #2 and #3. Commissioner Paterson seconded the motion and carried the following vote: 5-0-0-0.

AYES: COMMISSIONERS: MARTIN, REIMERS, PATERSON, LEPAGE & GOODHUE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

- | | |
|--|---|
| 4. DS 16-012 (Green)
Scott Green
Dolores St., 3 NE of Santa Lucia
Blk:143, Lot:30
APN: 010-165-026 | Consideration of a Final Design Study (DS 16-012) and associated Coastal Development Permit for an addition and substantial alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District |
|--|---|

Chair Goodhue recused.

Commissioner Reimers moved to accept Consent Agenda items #4. Commissioner Paterson seconded the motion and carried the following vote: 4-0-0-1.

AYES: COMMISSIONERS: MARTIN, REIMERS, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: GOODHUE

5. DS 15-188 (Hahn Winery) Consideration of a floorplan revision to an approved retail wine tasting room (UP 15-188) at a space located in the Central Commercial (CC) Zoning District
David Peartree
SEC of Ocean & Mission
Blk:83, Lot:7
APN: 010-041-007

Commissioner Reimers recused.

Commissioner LePage moved to accept Consent Agenda items #5. Commissioner Paterson seconded the motion and carried the following vote: 4-0-0-1.

AYES: COMMISSIONERS: MARTIN, GOODHUE, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: REIMERS

6. DS 16-405 (Cordano) Consideration of a Track One Design Study (DS 15-405) referral for alterations to an existing residence located in the Single-Family Residence (R-1) Zoning District
Claudio Ortiz
Carmelo St., 4 SE of Ocean
Blk: M, Lot:12 and 14
APN: 010-266-010

Commissioner LePage asked Matthew Sundt, Contract Planner questions. Mr. Sundt answered questions from Commission.

Chair Goodhue opened the Public hearing.

Speaker #1: Barbara Livingston noted she does not support the project.

Seeing no other speakers Chair Goodhue closed the public hearing.

The Commission held discussion.

Chair Goodhue reopened the public hearing.

Speaker #2: Claudio Ortiz, project Architect noted he is aware of the site coverage concerns and proposed an alternative design options for the walkway.

Commissioner LePage, Martin and Paterson all voiced concern with the amount of site coverage and the need for a reduction.

Commissioner LePage moved to accept Consent Agenda items #5 with added condition to remove walkway in the front and patio in the southeast corner of the property. Commissioner Martin seconded the motion and carried the following vote: 5-0-0-0.

AYES: COMMISSIONERS: MARTIN, REIMERS, PATERSON, LEPAGE & GOODHUE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

H. PUBLIC HEARINGS

1. MP DS 15-158 (Henderson) Consideration of a Design Study (DS 15-158) and associated Coastal Development Permit and adoption of a Mitigated Negative Declaration for the construction of a new bluff top retaining wall at an existing residence located in the Single-Family Residential (R-1) Zoning District and the Beach Overlay District, and listed on the Historic Resources Inventory
Runnoe Construction
26336 Scenic Road
Blk: B-18, Lots: 1 &2
APN: 009-423-001/009-423-002

Ashley Hobson, Contract Planner presented the staff report and summarized project design and noted staff recommends approval.

Speaker #1: Anthony Lombardo, representative for the Hendersons spoke to special condition #17 in staff report.

Speaker #2: Chuck Henderson informed the Commission of his family's hard work to maintain the residence for everyone to enjoy.

Speaker #3: Kent Seavy, City Historic consultant summarized the property history and informed the Commission the residence was nominated for the National Registry and noted the Henderson home is the only Wright house on the West Coast.

Speaker #4: Mark Fox, Engineer on the project provided design detail and answered questions from the Commission.

Chair Goodhue opened the meeting to the public.

Speaker # 5: Carl Iverson is in favor of the repair work.

Speaker#6: Barbara Livingston commended the project.

Seeing no other speakers, Chair Goodhue closed the public hearing.

Commissioner Reimers moved to accept DS 15-158 (Henderson) as presented. Commissioner Paterson seconded the motion and carried the following vote: 5-0-0-0.

AYES: COMMISSIONERS: MARTIN, REIMERS, PATERSON, LEPAGE
& GOODHUE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

2. DS 15-217/VA 16-070 (Chadwick) Eric Miller Architects Scenic Road, 2 NW of 8 th Ave. Blk: C2, Lot: 10 & 11 APN: 010-312-026	Consideration of Final Design Study (DS 15-217) Coastal Development Permit and Variance (VA 16-070) applications for the demolition of existing residence and construction of new residence located in the Single-Family Residential (R-1) Zoning District, Beach and Riparian (BR) Zoning Districts, Archeological Significance (AS) Overlay District, and in the Appeal Jurisdiction/Beach Overlay (AB) Overlay Districts
---	---

Matthew Sundt, Contract Planner provided staff report.

Speaker #1: Applicant Architect, Eric Miller summarized revised project design.

Commissioner Goodhue opened the public hearing.

Speaker #2: Barbara Livingston voiced her concern for the grand entry and design of the residence.

Speaker #3: Pamela Silkwood, representative for the Yenckens, neighbors to the south expressed her clients concerns with the southern facing window and spoke to the variance requested by the applicant.

Speaker #4: Anthony Lombardo spoke to the Commission on behalf of the Chadwicks and noted his clients support the staff conditions.

Chair Goodhue closed the public hearing.

Commissioner LePage moved to accept DS 15-217/VA 16-070 (Chadwick) as presented with the condition the front entry way and front façade return to the

Planning Commission for review. Motion seconded by Commissioner Paterson and carried the following vote:5-0-0-0.

AYES: COMMISSIONERS: MARTIN, REIMERS, PATERSON, LEPAGE
& GOODHUE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

3. DS 15-414 (Sadaati) Consideration of Concept and Final Design
Manuel Guerrero Study (DS 15-414) and associated Coastal
Monte Verde St. 2 SW of 13th Development Permit for an addition and
Block:146, Lots: 3,5 & pt. of 7 substantial alterations to an existing residence
APN: 010-176-016 located in the Single-Family Residential (R-
1) Zoning District and listed on the Historic
Resources Inventory

Chair Goodhue recused.

Ashley Hobson, Contract Planner presented the staff report and summarized design revisions. Ms. Hobson noted the Historic Resources approved the project.

Speaker#1: Manuel Guerrero, Applicant/Architect provided project presentation.

Vice Chair Paterson opened the public hearing.

Speaker #2: Mrs. Melanie Billig, neighbor to the west noted privacy concerns with the 2nd story west elevation windows and expressed her desire for the hedge that separates the two properties to remain for the added privacy benefit to both the applicant and the neighbors.

Seeing no other speakers Chair Goodhue closed the public hearing.

The Commission held brief discussion.

Commissioner Reimers voiced window concerns. Commissioner LePage expressed concern with the number of skylights and roof material. Commissioner Martin recommended the reduction of windows on the south side of the residence and a wood roof to compliment the historic home.

Commissioner Reimers moved to accept (DS 15-414) with added conditions to eliminate windows on the west and relocate to the east, reduce skylights by at least 50% and use natural material on the roof. Motion seconded by Commissioner LePage and carried the following roll call vote 4-0-0-1:

AYES: COMMISSIONERS: MARTIN, PATERSON, REIMERS & LEPAGE
 NOES: COMMISSIONERS: NONE
 ABSENT: COMMISSIONERS: NONE
 ABSTAIN: COMMISSIONERS: GOODHUE

4. DS 16-068 (OSBT Investments) Consideration of a Concept Design Study (DS 16-069) and associated Coastal Development Permit for the demolition of an existing residence and construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District
 Alan Lehman
 Vizcaino, 10 SE of Mt. View
 Blk: 103, Lot:24
 APN: 010-052-015

Ashley Hobson, Contract Planner presented staff report and expressed staff concerns with stone veneer on garage and noted staff recommends a natural material.

Speaker #1: Applicant/Architect Alan Lehman provided further design detail and a roofing sample to the Commission for review.

Chair Goodhue opened the public hearing.

Speaker #2: Neighbor, Lucille Biesbroeck-Hannah voiced her concern with the project's proximity to the property.

Speaker #3: Barbara Livingston noted she is not in favor of the proposed roof materials.

Chair Goodhue closed the public hearing.

The Commission held discussion. Commissioner Reimers noted her concern with the garage materials. Commissioner Martin expressed concerns with the roofing material. Commissioner LePage encouraged the applicant to explore a more authentic use of stone.

Commissioner Reimers moved to accept Concept Design with recommendation #1 and simplify materials per staff recommendations on entire structure. Motion seconded by Commissioner LePage and carried the following roll call: 4-1-0-0.

AYES: COMMISSIONERS: MARTIN, LEPAGE, REIMERS & GOODHUE
 NOES: COMMISSIONERS: PATERSON
 ABSENT: COMMISSIONERS: NONE
 ABSTAIN: COMMISSIONERS: NONE

5. DS 16-069 (Lehman) Consideration of a Concept Design Study (DS 16-069) and associated Coastal Development Permit for the demolition of an existing residence and construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District
 Alan Lehman
 Vizcaino, 11 SE of Mt. View
 Blk: 103, Lot: 26 & 28

APN: 010-052-015

residence located in the Single-Family Residence and construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District

Ashley Hobson, Contract Planner presented the staff report for DS 16-069 (Lehman) and noted the neighbors to the east have privacy concerns.

Speaker #1: Applicant, Alan Lehman provided further project details and answered questions from the Commission.

Chair Goodhue opened the public hearing.

Speaker #2: Roberta Miller voiced concern with the complexity of the residence.

Speaker #3: Mrs. Biesbroeck-Hannah expressed concern regarding the placement of the garage and potential glare from skylights.

Speaker #4: Gail Lehman informed the Commission she meet with City Forester, Mike Branson and will hand dig around roots.

Seeing no other speakers, Chair Goodhue closed the public hearing.

Commissioner LePage moved to accept Concept Design DS 16-069 (Lehman) the direction as given by staff. Motion seconded by Commissioner Martin and carried the following roll call: 5-0-0-0.

AYES:	COMMISSIONERS: PATERSON, MARTIN, LEPAGE, REIMERS & GOODHUE
NOES:	COMMISSIONERS: NONE
ABSENT:	COMMISSIONERS: NONE
ABSTAIN:	COMMISSIONERS: NONE

<p>6. DS 16-023 (Salehi) Mark Thompson NE corner of Monte Verde & 3rd Blk: 31, Lot: 20 APN: 010-221-018</p>	<p>Consideration of a Track One Design Study referral (DS 16-023) for alterations to an existing residence located in the Single-Family Residential (R-1) and Beach Overlay District</p>
--	--

Catherine Tarone, Assistant Planner provided staff report and answered questions from the Commission.

Speaker #1: Applicant, Mark Thompson noted the Owner's concerns and provided clarification to the placement of the proposed retaining wall is to maximize usable space on the property.

Public hearing opened.

Speaker 2: Barbara Livingston noted she is not in favor of the proposed ironwork.

Seeing no other speaker the public hearing was closed.

The Commission held discussion.

Commissioner Paterson moved to approve 3 foot high concrete retaining wall no more than 9 inches wide with 3 foot wood fence above and setback from the property line and simple wrought iron railing on two balconies, stairway and above garage. Motion seconded by Commissioner LePage and carried the following roll call: 3-2-0-0.Motion passed.

AYES: COMMISSIONERS: PATERSON, LEPAGE & GOODHUE
NOES: COMMISSIONERS: REIMERS & MARTIN
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

The Commission held further discussion.

Commissioner Reimers voiced her support for the 6 foot fence and wood, Commissioner Reimers noted she is not in favor of the proposed wrought iron. Commissioner Martin supports the wall.

Commissioner Reimers moved to accept concrete wall and retaining wall with wood railing through the entire project. Commissioner Martin seconded the motion and carried the following vote: 2-3-0-0. Motion failed.

AYES: COMMISSIONERS: REIMERS & MARTIN
NOES: COMMISSIONERS: PATERSON, LEPAGE & GOODHUE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: NONE

- | | |
|---|--|
| 7. FY 16/17 CIP Review
City of Carmel-by-the-Sea | Consideration of a Resolution (16-001) for the review of the FY 2016/2017 Capital Improvement Plan (CIP) and determination of consistency with the City's General Plan |
|---|--|

Commissioner Reimers recused.

Marc Wiener, Acting Planning Director provided staff report.

AYES: COMMISSIONERS: PATERSON, LEPAGE, MARTIN & GOODHUE

NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: NONE
ABSTAIN: COMMISSIONERS: REIMERS

Commissioner LePage motioned to accept CIP Plan. Commissioner Paterson seconded the motion and the motion carried the following vote: 4-0-0-1.

I. DIRECTOR'S REPORT

1. Monthly Report

Mr. Wiener summarized report.

2. Discussion of code-compliance activities

Acting Planning Director informed Commission on staff efforts regarding 30-day rentals, Skin Care businesses and Green Waste cardboard issues.

3. Schedule May 2016 meeting

May 2016 Planning Commission scheduled for May 11, 2016 at regular meeting time.

J. SUB-COMMITTEE REPORTS

1. Discussion on current subcommittees

No discussion held.

K. ADJOURNMENT

There being no further business, Chair Goodhue adjourned the meeting at 8:35 p.m.

The next meeting of the Planning Commission is scheduled:

Wednesday, May 11, 2016 at 4:00 p.m. – Regular Meeting

SIGNED:

Donald Goodhue, Planning Commission Chair

ATTEST:

Cortina Whitmore, Planning Commission Secretary

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION REGULAR MEETING – MINUTES
May 11, 2016

A. CALL TO ORDER AND ROLL CALL FOR TOUR OF INSPECTION

PRESENT: Commissioners: Martin, Paterson & LePage

ABSENT: Goodhue

STAFF PRESENT: Marc Wiener, Acting Planning & Building Director
Ashley Hobson, Contract Planner
Matthew Sundt, Contract Planner
Catherine Tarone, Assistant Planner
Cortina Whitmore, Planning Commission Secretary

B. TOUR OF INSPECTION

The Commission convened at 1:45 p.m. and then toured the following sites:

- SI 16-027 (All About the Chocolate), Dolores 4 SE of Ocean Ave.; Blk:76, Lot:12
- DR 16-101/ SI 16-176 (Carmel Plaza), Entire Block surrounded by Ocean Ave. Junipero St. 7th Ave. and Mission St. ; Blk: 78, Lots: 1-27
- DS 16-068 (Lehman), Vizcaino, 11 SE of Mt. View; Blk: 103 Lots:24
- DS 16-069 (Lehman), Vizcaino, 11 SE of Mountain View; Blk: 103, Lot: 24
- DS 16-074 (Carmel Development II, LLC), Forest Rd. , 3 SW of Ocean Ave. , Blk:83, Lot: 3
- DS 16-037 (Kramer), SE Corner of 6th and Perry Newberry; Blk: BB, Lot: 13
- DS 16-103 (McFarland), SE Corner of 10th Ave. and Lincoln St.; Blk: 115 Lot: 2
- DS 16-113 (McClean-Boyd), Dolores St. , 3 SE of 13th Ave.; Blk: 143, Lots:1/2 of 6 and 1/2 of 8

C. ROLL CALL

Vice Chair Paterson called the meeting to order at 4:00 p.m.

D. PLEDGE OF ALLEGIANCE

Members of the audience joined Commission Members in the Pledge of Allegiance.

E. ANNOUNCEMENTS/EXTRAORDINARY BUSINESS

Vice Chair Paterson congratulated former Planning Commissioner Jan Reimers for her election to the City Council.

**Commissioner Le Page moved to accept DS 15-217 (Chadwick) as proposed.
Commissioner Martin seconded the motion and carried the following vote: 3-0-1-0.**

AYES: COMMISSIONERS: MARTIN, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

H. PUBLIC HEARINGS

1. CDP 16-155 (City of Carmel) Consideration of a five year, renewable Coastal
Mission Trail Nature Preserve Development Permit (CDP 16-155) for invasive
APN: 010-061-006,010-067-007, species removal and maintenance activities in
010-061-008, 009-341-001, Mission Trail Nature Preserve
010-341-008

Mike Branson, City Forester presented the staff report and summarized maintenance challenges. Mr. Branson noted the Coastal Development Permit is a preventative measure to help preserve the Mission Trail.

Marc Wiener noted condition #8 in the staff report in regards to a parking lot was removed.

Vice Chair Paterson opened the public hearing.

Speaker #1: Cindy Lloyd, representative for the Friends of The Mission Trail founded in 2009 spoke in favor of preserving the trail and noted the Friends of the Mission Trail would like to continue the removal of invasive species. Ms. Lloyd answered questions from the Commission.

Speaker #2: Joyce Stevens from Friends of the Mission Trail provided more Mission Trail history and noted her support for the Coastal Development Permit.

Speaker #3: Skip Lloyd commended the Mission Trail Report and staff and noted his support.

Speaker #4: Bill Doolittle noted his support of the project and the need for the City to assist in the preservation of the Mission Trail.

Speaker #5: John Bridges commended the project and asked for clarity on the parking lot.

Mr. Wiener noted the parking lot was removed from the proposed Coastal Development Permit.

Seeing no other speakers, Vice Chair Paterson closed the public hearing.

The Commission held discussion. The Commission spoke in favor of the Mission Trail Project.

Commissioner LePage moved to approve CDP 16-155 (City of Carmel) with direction to delete any reference to a parking lot. Commissioner Martin seconded the motion and carried the following vote: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

2. SI 16-027 (All About the Chocolate) Hariom & Sons Inc. Dolores 4 SE of Ocean Ave. Blk: C2, Lot: 12 APN: 010-146-011	Consideration of Sign Permit (SI 16-027) application for the installation of an awning/sign on a building located in the Central Commercial (Cc) Zoning District
--	--

Marc Wiener, Acting Planning Director provided staff report and noted staff recommends approval. Mr. Wiener answered questions from the Commission.

Speaker #1: Applicant, Dennis Joshi summarized revised awning design. Mr. Joshi answered questions from the Commission.

Commissioner Paterson opened the public hearing.

Speaker #2: Roberta Miller inquired if the business name printed on the sign had changed and noted her concerns with the size of the lettering.

Speaker #3: Barbara Livingston expressed the Commission will need to act cautiously in regards to the color, shape and lettering for all three awnings.

Commissioner Paterson closed the public hearing.

The Commission held discussion. Commissioner Martin asked for clarity on what the Planning Commission is allowed to approve in regards to all three awnings located on the building and noted he is not in favor of the proposed white lettering or the valance. Commissioner LePage noted the design needs to be simplified and the wood board above the middle window will need to be removed. Commissioner Paterson agreed with the recommendation to remove the valances.

Commissioner LePage moved to accept application SI 16-027 with the following conditions: all awnings will need to be consistent, remove two sign mounts and wood

board above middle awning, print lettering for all awnings in same font as used on the B.G. Jewelers awning in off-white paint, work with staff in regards to the outer awnings. Motion seconded by Commissioner Martin and carried the following vote: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

3. DS 16-068 (OSBT Investments) Consideration of a Final Design Study (DS
Alan Lehman 16-068) and associated Coastal Development
Vizcaino, 10 SE of Mt. View Permit for the construction of a new single-
Block:103, Lots: 24 family residence located in the Single-Family
APN: 010-052-015 Residential (R-1) Zoning District

Ashley Hobson, Contract Planner presented the staff report.

Speaker #1: Applicant/Designer, Alan Lehman summarized design revisions and addressed neighbor letters. Mr. Lehman answered questions from the Commission.

Vice Chair Paterson opened the public hearing.

Speaker #2: Barbara Livingston commended Mr. Lehman on his design changes. Ms. Livingston inquired if trees are allowed in the City Right-of-way and what type of fence will be installed.

Seeing no other speakers Commissioner Paterson closed the public hearing.

The Commission held brief discussion. Commissioner Martin noted there are several roofing materials available that mimic wood.

Commissioner Martin moved to accept DS 16-068 (OSBT Investments) with the condition the Applicants work with staff if the roofing material will be composition shingles. Motion seconded by Commissioner Le Page and carried the following vote: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

4. DS 16-069 (OSBT Investments) Consideration of a Final Design Study (DS 16-069) and associated Coastal Development Permit for the demolition of an existing residence and construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District
Alan Lehman
Vizcaino, 10 SE of Mt. View
Blk: 103, Lot:24
APN: 010-052-015

Ashley Hobson, Contract Planner presented staff report, Ms. Hobson noted the Planning Department received letters of concern for DS 16-069.

Speaker #1: Alan Lehman project designer explained design revisions and spoke to the garage placement. Mr. Lehman answered questions from the Commission.

Commissioner Paterson opened the public hearing.

Speaker #2: Neighbors, Robert Hannah and Lucille Biesbroeck-Hannah expressed their concern for the garage placement.

Speaker #3: Barbara Livingston noted she is in favor of the proposed dirt and wood chip driveway and voiced her support for the staff recommendations for the roofing material.

Speaker #1 Alan Lehman responded to earlier public comments and concerns. Mr. Lehman noted he is open to roofing material suggestions.

Commissioner Paterson closed the public hearing.

The Commission held discussion. Commissioner LePage noted the applicant complied with direction given by staff and the Planning Commission. Both Commissioner Martin and LePage noted the placement of the garage will not impact the Hannah's privacy and further noted there is no opening directed to the Hannah's residence. Commissioner Paterson concluded the discussion in agreement with Commissioners LePage and Martin and expressed his support for a wood roof.

Commissioner LePage moved to accept DS 16-069 (Lehman) as per staff recommendations. Motion seconded by Commissioner Martin and carried the following vote: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

5. DS 16-037 (Kramer) Consideration of a Concept and Final Design Study (DS 16-037) and associated Coastal Development Permit for alterations to an
James Kean
SEC of 6th Ave. & Perry Newberry

Blk: BB, Lot: 13
APN: 009-162-018

existing residence located in the Single-Family Residential (R-1) Zoning District

Ashley Hobson, Contract Planner presented the staff report and summarized property history. Ms. Hobson noted staff recommends approval.

Speaker #1: Owner, Courtney Kramer provided further design detail.

Vice Chair Paterson opened the public hearing.

Speaker #2: Barbara Livingston inquired to lighting, trees in the right-of way, and type of proposed fence.

Speaker #1: Owner Courtney Kramer answered Ms. Livingston's question noted Cypress and Pine trees will be replanted on the property and explained clarified lighting plans.

Seeing no other speakers, Vice Chair Paterson closed the public hearing.

The Commission held discussion. Commissioner LePage noted a significant number of lights proposed on the street side of the residence. Commissioner Martin agreed with Commissioner LePage and requested down lighting.

Commissioner Martin moved to accept application DS 16-037 (Kramer) with the condition to eliminate northeast and northwest lights with the option to relocate along the side of the residence, reduce lighting to one at garage and one at the entry and ensure down lighting on the front elevation, eliminate condition #24 and modify condition #23 to remove seeded glass. Motion seconded by Commissioner Martin and carried the following roll call: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

- | | |
|--|--|
| 6. DS 16-113 (McClellan and Boyd)
Claudio Ortiz Design Group
Dolores St., 3 SE of 13 th Ave.
Blk: 143, Lot: ½ of 6 and ½ 8
APN: 010-165-036 | Consideration of a combined Concept and Final Design Study (DS 16-113) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District |
|--|--|

Matthew Sundt, Contract Planner provided staff report and answered questions from the Commission.

Speaker #1: Applicant/Architect, Claudio Ortiz provided further design details and answered questions from the Commissioners.

Public hearing opened.

Speaker 2: Barbara Livingston spoke in favor of the removal of skylights and inquired to the lighting, driveway and trees in the City’s right-of-way.

Seeing no other speaker the public hearing was closed.

The Commission held discussion. Commissioner LePage noted the Commission is not endorsing solid walls. Commissioner Martin noted the ivy will need to be removed.

Commissioner LePage moved to accept application DS 16-113 per staff special conditions, to eliminate seeded lighting and replace with down lighting at front entry, and direction for Applicant to work with staff to consider the replacement of the fence material. Motion seconded by Commissioner Martin and carried the following roll call: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, PATERSON & LEPAGE
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

- | | |
|--|---|
| <p>7. DS 16-074 (Carmel Development II, LLC)
Forest Rd., 3 SW of Ocean Ave.
Blk: 83, Lot: 3
APN: 010-041-003</p> | <p>Consideration of a combined Concept and Final Design Study (DS 16-074) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District</p> |
|--|---|

Catherine Tarone, Assistant Planner presented staff report. Ms. Tarone answered questions from the Commission.

Speaker #1: Applicant/Architect, Jon Erlandson presented an alternative design to the Commissioners and answered questions.

Vice Chair Paterson opened the public hearing.

Speaker #2: Neighbor to the north of property noted his concern regarding the proposed roof and size of the residence.

Speaker #3: Barbara Livingston noted concern with window size.

Seeing no other speakers the public hearing was closed.

The Commission held discussion.

Commissioner Paterson reopened public hearing.

Speaker #2: Neighbor to the north expressed further his concerns with the proposed roof and possible loss of sun.

Speaker #1: Mr. Erlandson noted the proposed project will not impact the neighbor's sun.

Commissioner LePage moved to accept DS 16-074 per staff special conditions and alternate entry window. Commissioner Martin seconded the motion and the motion carried the following vote: 3-0-1-0.

AYES: COMMISSIONERS: LEPAGE, MARTIN& PATERSON
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

- | | |
|--|--|
| 8. DS 16-103 (McFarland)
Justin Pauly
SE corner of 10 th Ave. & Lincoln
Blk: 115; Lot: 2
APN: 010-158-018 | Consideration of Concept Design Study (DS 16-103) and associated Coastal Development Permit for the demolition of an existing residence and construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District |
|--|--|

Matthew Sundt, Contract Planner provided staff report and answered questions from the Commission.

Speaker #1: Applicant/Architect, Justin Pauly summarized design details and noted the steep slope of the property.

Public hearing opened.

Speaker #2: Anthony Lombardo, representative for the Huffs expressed concern with the potential loss of easement.

Speaker #3: Dan and Nancy McFarland responded to letter from neighbors, the Huffs and answered questions from the Commission.

Speaker #4: Michael Huff, neighbor voiced his concern regarding the proposed driveway and the potential loss of access to his driveway.

Speaker #5: Valerie Huff, neighbor also noted concern with the driveway. Ms. Huff answered questions from the Commission.

Speaker #4: Mrs. McFarland noted the Huffs did not contact them prior to the new planting/landscaping.

Seeing no other speaker the public hearing was closed.

Marc Wiener noted there is a clear easement on record.

The Commission held brief discussion. Commissioner LePage noted the neighbors will need to compromise. Commissioners LePage and Martin commended the Architect on the design.

Commissioner Martin moved to accept DS 16-103 (McFarland) Concept Design with the condition the Applicants work with the neighbors to mitigate driveway concerns. Motion seconded by Commissioner LePage and carried the following roll call: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, LEPAGE & PATERSON
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

Commissioner LePage motioned to continue Planning Commission meeting past 8:00 p.m. and/or until the completion of the agenda packet. Commissioner Martin seconded the motion that carried the following roll call: 3-0-1-0.

AYES: COMMISSIONERS: MARTIN, LEPAGE & PATERSON
NOES: COMMISSIONERS: NONE
ABSENT: COMMISSIONERS: GOODHUE
ABSTAIN: COMMISSIONERS: NONE

- | | |
|---|---|
| <p>9. DR 16-101/SI 16-176 (Carmel Plaza)
Belli Architectural Group
Dolores St., 3 SE of 13th Ave.
Blk: 143, Lot: ½ of 6 and ½ 8
APN: 010-165-036</p> | <p>Consideration of a Concept Design Review (DR 16-101) and Sign Application (SI 16-176) for alterations to the interior and exterior of the Carmel Plaza which is located in the Central Commercial (CC) Zoning District</p> |
|---|---|

Ashley Hobson, Contract Planner provided staff report and answered questions from the Commission.

Speaker #1: Applicant; Gail Spear, General Manager of the Carmel Plaza presented concept design presentation and answered questions from the Commission.

Public hearing opened.

Speaker #2: Roberta Miller noted she is not in favor of the proposed lighting.

Speaker #3: Barbara Livingston noted her concern with the proposed lighting and color of the awnings.

Speaker #4: Ethan Hare, Project Contactor provided further design clarification.

Speaker #5: Jim Khakis noted his support of the project.

Speaker #6: Matthew Porges, Owner of Carmel Coffee and Cocoa Bar noted an update to the Carmel Plaza is necessary and spoke in favor of the lighting.

Seeing no other speaker the public hearing was closed.

The Commission held discussion. Commissioner Martin encouraged the Plaza to create a sense of continuity, utilize native plants in the landscaping and reduce lighting. Commissioner LePage noted his overall support for the project. Commissioner LePage suggested relocating the stairway to the south end of the Carmel Plaza, returning all painted brick to original condition and a reduction of lighting. Vice Chair Paterson concluded the discussion in agreement with his fellow Commissioners. No motion required.

10. Wine Tasting Policy (City of Carmel) Carmel-by-the-Sea Commercial Zoning Districts	Annual review of the City's Wine Tasting Policy
--	---

Marc Wiener, Acting Planning Director provided brief history and noted the Planning Commission will need to establish the difference between special events vs. routine events.

Public hearing opened.

Speaker #1: Barbara Livingston suggested the involvement of the Carmel Residents Associations and noted her support for establishments north of Ocean Ave.

Seeing no other speakers the public hearing was closed.

Commissioner LePage noted enforcement and accountability is difficult. Commissioner Martin cautioned against "pop-up" diners. Commissioner Paterson suggested sending a reminder letter of allowable uses to the Wine Tasting Rooms.

I. DIRECTOR'S REPORT

1. Monthly Report

Mr. Wiener summarized report.

2. Schedule June 2016 meeting
June 2016 Planning Commission scheduled for June 8, 2016 at regular meeting time.

J. SUB-COMMITTEE REPORTS

1. Discussion on Restaurant subcommittee. Commissioners Paterson and Martin noted the subcommittee's efforts to expand the Restaurant subcommittee.

Public hearing opened.

Speaker #1: Barbara Livingston noted representatives from the Specialty Food segment should be included on the Restaurant subcommittee.

K. ADJOURNMENT

There being no further business, Chair Goodhue adjourned the meeting at 9:22 p.m.

The next meeting of the Planning Commission is scheduled:

Wednesday, June 8, 2016 at 4:00 p.m. – Regular Meeting

SIGNED:

Donald Goodhue, Planning Commission Chair

ATTEST:

Cortina Whitmore, Planning Commission Secretary



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 8, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Interim Community Planning and Building Director

Subject: Consideration of the re-issuance of a Design Study (DS 16-171) and associated Coastal Development Permit with revisions for the construction of a new single-family residence located in the Single-Family Residential (R-1) Zoning District located in the Single-Family Residential (R-1), Park Overlay (P) and Very High Fire Hazard Severity (VHFHS) Zoning Districts

Recommendation:

Approve the Design Study (DS 16-171) and the associated Coastal Development Permit subject to the attached findings and conditions

Application: DS 16-171 **APN:** 010-121-021
Location: Mission Street 2 SW of First Avenue
Block: 11 **Lots:** 7
Applicant: Brian Congleton **Property Owner:** Peter and Susan Loewy

Background and Project Description:

On November 13, 2013, the Planning Commission approved a Design Study (DS 13-69) application for the construction of a new 1,027-square foot guesthouse on the south end of a 16,000-square foot property, which is comprised of four separate lots. The property is located at the southwest corner of Mission Street and First Avenue and is developed with the historic Forest Hill School building built in 1921.

The applicant had originally desired to construct a new residence on the south lot, but was unable to obtain a water meter and a result decided to build a guesthouse instead. Staff notes that per Monterey Peninsula Water Management District regulations, a new residence would

require the installation of a new water meter, while a guesthouses can connect to the existing water meter that services the main residence. With the availability of water credits from Malpaso Water Company, the applicant is now able to obtain a water meter allowing the construction of a single-family residence. A guesthouse is different from a single-family residence in that the allowed floor area is more restrictive and it is not permitted to have a kitchen.

The Design Study permit has since expired and the applicant is now requesting a re-issuance with revisions necessary to convert the guesthouse into a single-family residence. Staff notes that the residence is nearly identical in design to the originally approved guesthouse, with the following revisions:

- The square footage has been expanded from 1,027 square feet to 1,443 square feet.
- A kitchen was added to the structure and an interior staircase.
- The structure was shifted 3 feet south. The original setback from the south property line was 15 feet. The applicant is now proposing a 12-foot setback from the south property line.

The original approved plans are included as Attachment D and the revised plans are included as Attachment F for comparison. The data table below has been revised to reflect the project revisions.

PROJECT DATA FOR A 4,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (45%)	NA	1,443 sf (36%)
Site Coverage	556 sf (13%)	NA	561 sf (13%)
Trees (upper/lower)	3/1 trees	4/3	4/3
Ridge Height (1 st /2 nd)	18/24 ft.	NA	11 ft./20 ft.
Plate Height (1 st /2 nd)	12 ft./18 ft.	NA	8 ft.6 in./ 16 ft. 7 in.
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	NA	15 ft.
Composite Side Yard	25 ft. (25%)	NA	15 ft. (37.5%)
Minimum Side Yard	3 ft./5 ft.	NA	3 ft./12 ft.
Rear	3 ft.	NA	45 ft.

Staff analysis:

Permit Re-Issuance: The applicant is requesting a re-issuance of the Design Study and Coastal Development permits, originally approved by the Planning Commission. These permits approvals were valid for one year and have since expired. The applicant has applied for a re-issuance of the project permits to keep the permits active. For a re-issuance of the permits, the property owner is required to mail and hand-deliver a public notice to neighboring properties. The applicant has met these noticing requirements and has re-staked the property with story poles.

Staff notes that because this would be a re-issuance of the permits, as opposed to a time extension, the Planning Commission is not bound by previous decisions on this project. However, for re-issued permits staff typically relies on the previous analysis in making recommendations. The original staff report for the final hearing is included as Attachment E. Staff supports the request to re-issue the Design Study and associated Coastal Development Permit, as the conditions surrounding the original approval have not changed. Staff notes that the applicant is proposing minor changes to the originally project as previously described.

Environmental Review: The proposed project qualifies for a Class 3 exemption from CEQA, pursuant to Section 15303 of the CEQA Guidelines (Construction or remodification of a limited number of new or existing small structures). The project does not present any unique components that would have the potential for a significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Original Project Plans
- Attachment E – Approval Staff Report
- Attachment F – Revised Plans for Re-issuance

Attachment A – Site Photographs

Project Location –facing south at south end of property



Southern neighbor’s north facing windows that overlook guesthouse/garage



Project Site - facing west from Mission Street (vegetated frontage)



Attachment B – Findings for Approval

DS 16-171 (Loewy)
 June 8, 2016
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.8 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will as to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	
Use Permit - General Findings (Guesthouse)		
13. The proposed use is not in conflict with the General Plan.	✓	
14. The proposed use will comply with all applicable zoning standards.	✓	
15. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.	✓	
16. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, street capacity and fire protection.	✓	
17. The proposed use will not be injurious to public health, safety or welfare and provides adequate ingress and egress.	✓	
18. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.	✓	
19. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.	✓	
Coastal Development Findings (CMC 17.64.B.1):		
20. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the-Sea.	✓	
21. Public access policy consistency: The project is not located between the first	✓	

public road and the sea, and therefore, no review is required for potential public access.		
--	--	--

Attachment C – Conditions of Approval

DS 16-171 (Loewy)
 June 8, 2016
 Conditions of Approval
 Page 1

Approval Conditions		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 16-171) authorizes the construction of a new 1,443-square foot single-family residence. The new residence shall be clad with stucco and board and batten siding and a composition-shingle roof. The new residence includes a two-car garage and the installation of a 14-foot wide driveway.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	✓
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity,	✓

	the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 8,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the project plans as approved by the Planning Commission on November 13, 2013, prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use nonreflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any	✓

	liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	✓
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	✓

20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	
21.	Prior to issuance of a Grading or Building Permit for the project, the applicant shall submit an encroachment permit application for the grading work and any related improvements in the City's Right-of-Way (ROW). The encroachment permit shall be reviewed and approved by the City prior to the initiation of work.	✓
Special Conditions		
22.	Prior to the Building Permit Issuance, the applicant shall submit a detailed landscape plan to be reviewed by the Planning Staff and the City Forester.	✓

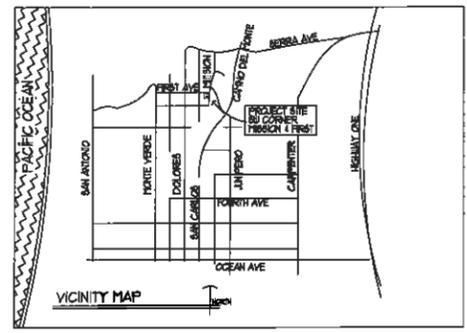
*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

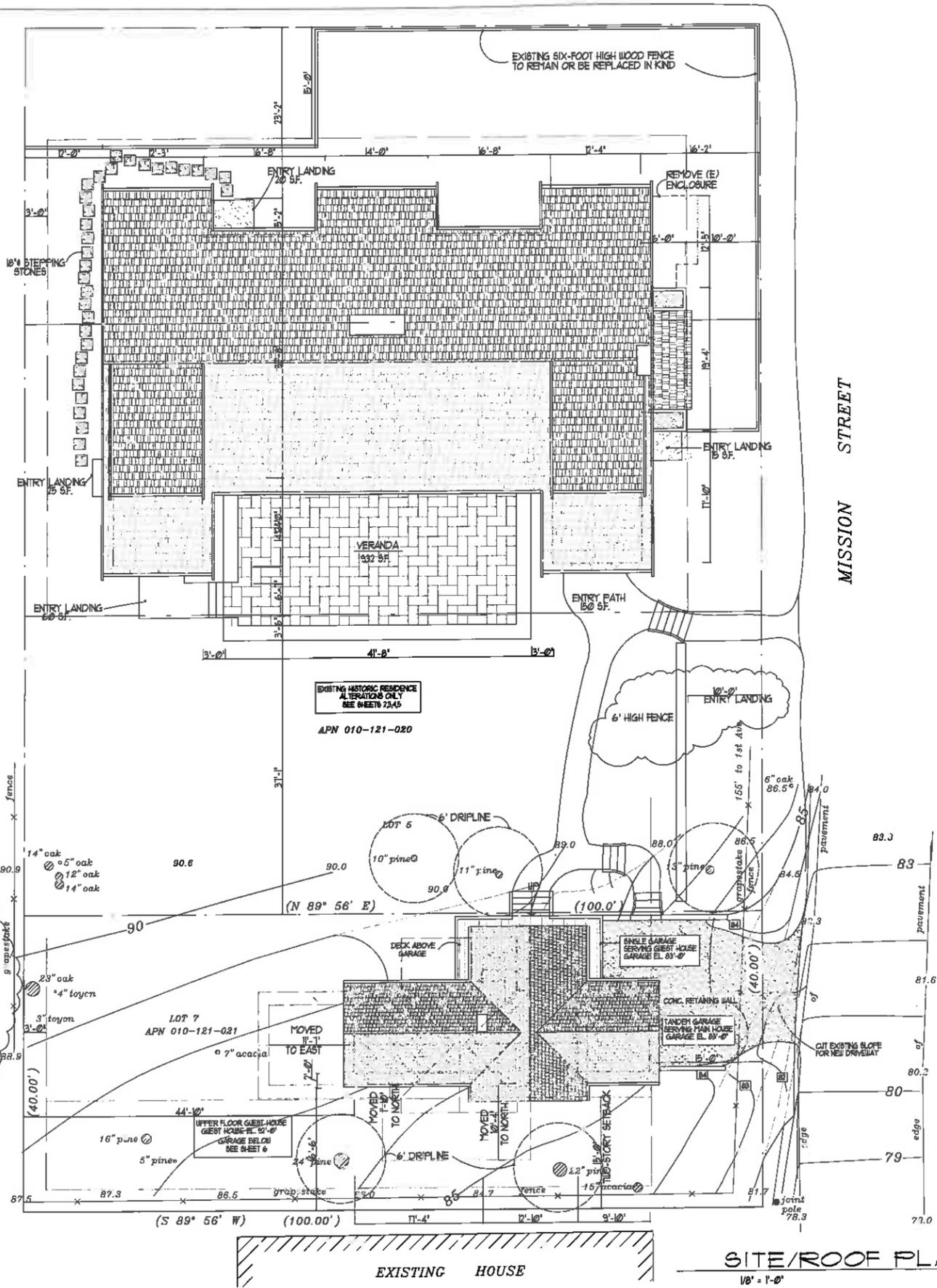
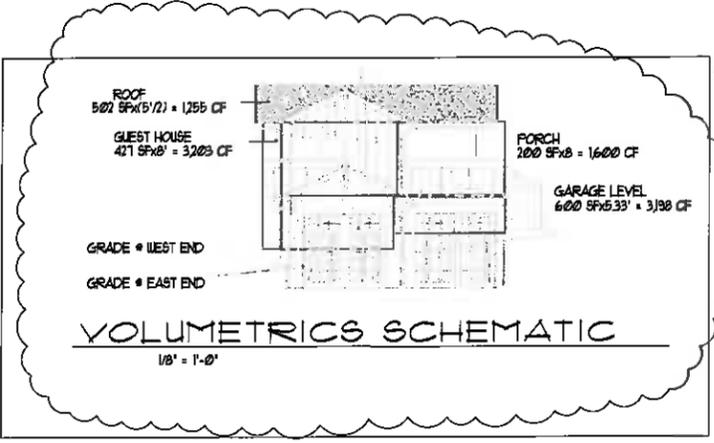
FIRST AVENUE



PLUMBING FIXTURE SCHEDULE

TYPE	FIL'S	EXISTING	PROPOSED MAIN HOUSE	PROPOSED GUEST HOUSE
KIT. SINK	2.0	-	2.0	-
KIT. SINK W/IF DU	1.5	-	-	-
BAR SINK	1.0	-	-	1.0
TOILET	1.1	-	-	-
HET. TOILET	1.3	5	6.5	1.3
WASH BASIN	1.0	4	4.0	2.2.0
2 WASH BASINS + MERY TUB OR TUBS+OWER	1.0	-	1.0	-
STALL SHOWER	2.0	-	3.0	-
TUB + SHOWER + MERY	3.0	-	3.0	-
LARGE TUB	3.0	-	-	3.0
WASHING MACHINE	2.0	-	2.0	2.0
W/IF WASHING MACHINE	1.0	-	-	-
UTILITY SINK	2.0	-	2.0	2.0
HOT WATER LOOP	0.5	-	0.5	-
TOTAL		29.5	26.0	13.3

* SECOND LAV IN MASTER BATH AT NO. FIXTURE UNIT CHARGE.
 * SEPARATE STALL SHOWER + LARGE TUB IN MASTER BATH FOR A TOTAL OF 3.0 FIL'S



PROJECT DATA: FOREST HILL - A HISTORIC RESIDENCE

ALTERATIONS TO EXISTING HISTORIC RESIDENCE
CONSTRUCTION OF NEW DETACHED GUEST HOUSE OVER GARAGE
VOLUNTARY LOT MERGER

LEGAL DESCRIPTION: BLOCK II, LOTS 135 APN 010101-010-000
BLOCK II, LOT 1 APN 010-101-000

LOCATION: S. W. CORNER MISSION ST & FIRST AVE, CARMEL CA
ZONING: R-1 LOT SIZE: 16,000 SF.

OWNER: PETER & SUSAN LOEUB
1 OAK MEADOW PLACE
CARMEL VALLEY, CA 93924
C/O JUSTIN HASTINGS 831/610-0930

PROPOSED EXTERIOR CHANGES - MAIN HOUSE (NORTH PARCEL):

- REPLACE EXISTING TAR & GRAVEL ROOF W/ COMPOSITION SHINGLES
- REMOVE & REPLACE UNREINFORCED MASONRY CHIMNEY - VISUAL MATCH
- REPLACE WOOD DOORS & WINDOWS N KIND - VISUAL MATCH
- ADD EXTERIOR DOOR INTO PANTRY
- REPLACE EXISTING SOUTH SIDE VERANDA & ENTRY STOOPS.

LOT SIZE: 16,000 SQUARE FEET
ZONING: R-1

SETBACKS:

	ALLOWED	EXISTING/PROPOSED
FRONT (NORTH):	15'-0"	25'-2"
WEST SIDE:	3'-0"	0'-0"
EAST SIDE:	5'-0"	10'-0"
COMPOSITE:	25'-0"	27'-0" (E)
REAR (SOUTH):	3'-0" / 15'-0"	15'-4"
HEIGHT:	24'-0"	18'-0" (E) / 11'-6"

FLOOR AREA:

MAIN HOUSE UPPER LEVEL	2553 SF.
MAIN HOUSE LOWER LEVEL	183 SF.
MAIN HOUSE LAUNDRY LEVEL	752 SF.
TOTAL EXISTING:	3588 SF.
GUEST HOUSE:	471 SF.
GARAGE:	600 SF.
TOTAL PROPOSED:	1021 SF.
TOTAL EXISTING & PROPOSED:	4615 SF.

ALLOWED FLOOR AREA:

BASE AREA (16,000 SF LOT):	4140 SF.
3% OF SITE BONUS (16,000 x .03):	480 SF.
TOTAL ALLOWED AREA W/ BONUS:	4620 SF.

VOLUMETRICS (GUEST HOUSE ONLY):
SEE VOLUMETRICS SCHEMATIC THIS SHEET

ROOF	502 SF x 5/12 = 1255 CF
PORCH	200 SF x 8' = 1,600 CF
GUEST HOUSE	471 SF x 8' = 3,768 CF
BALCONY WALLS	220 SF x 3.5' = 770 CF
GARAGE	600 SF x 5.33' = 3,198 CF
TOTAL VOLUME GUEST HOUSE =	10,239 CU. FT.

VOLUME ALLOWED:

TWO-STORY PORTION: 854 SF x 11'	9394 CU. FT.
ONE-STORY PORTION: 173 SF x 12'	2076 CU. FT.
TOTAL ALLOWED VOLUME:	11,470 CU. FT.

SITE COVERAGE:

VERANDA (PERMEABLE PAVERS):	932 SF.
LANDING:	122 SF.
ENTRY PATH (PERMEABLE PAVERS):	50 SF.
STEPPING STONES:	15 SF.
ENTRY PATH (PERMEABLE PAVERS):	110 SF.
DRIVEWAY (PERMEABLE PAVERS):	479 SF.
STEPS UP & DOWN TO SPACES:	82 SF.
DECK:	N.A. (ROOF OVER BLDG)
TOTAL:	1950 SF.
TOTAL PERMEABLE:	1671 SF.

BASE ALLOWED:

BASE ALLOWED: 4140 x .22 =	911 SF.
TREE BONUS (16,000 x .025) =	400 SF.
PERMEABLE BONUS: 16,000 x .04 =	640 SF.
TOTAL ALLOWED:	1351 SF.

- INDEX TO DRAWINGS**
- 1 SITE PLAN & PROJECT DATA
 - 2 MAIN & UPPER FLOOR PLAN
 - 3 LOWER FLOOR PLAN
 - 4 BUILDING ELEVATIONS & SECTION
 - 5 STREET ELEVATION
 - 6 GARAGE/GUEST HOUSE PLANS & ELEVATIONS

REVISED DESIGN REVIEW
NOVEMBER 7, 2013

These drawings and the design represented herein are the property of Congleton Architect AIA. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.

ISSUED BY: JPH
DATE: 5-15-13
REVISED:
11-T-13

Congleton Architect AIA

Post Office Box 478 Carmel, CA 93921 (831) 620-9920 License No. C-90030

FOREST HILL

SOUTH WEST CORNER OF FIRST & MISSION, CARMEL

SHEET NUMBER

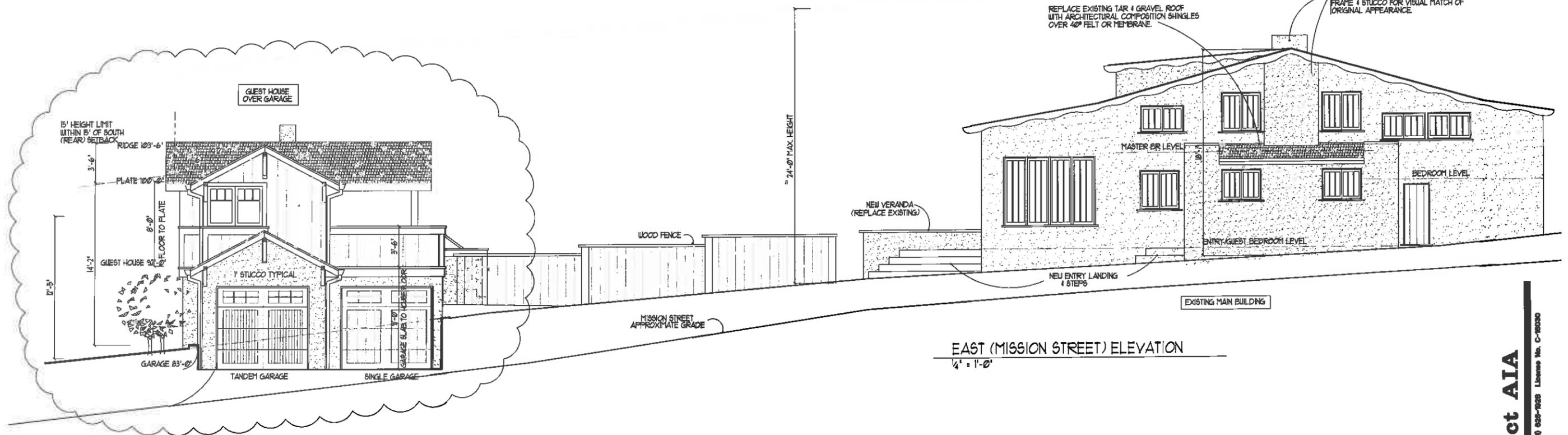
1

1 OF 6

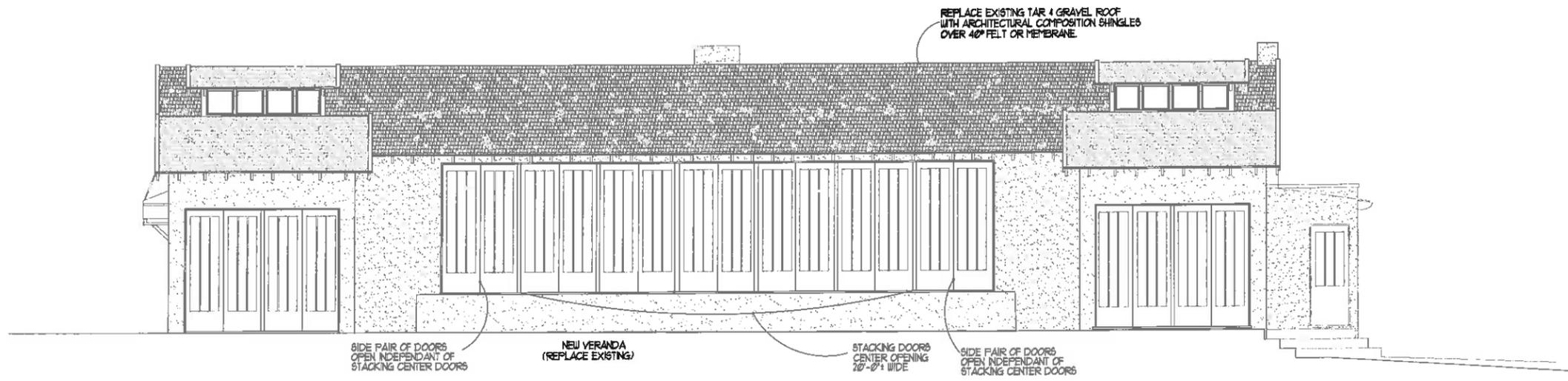
These drawings and the design represented herein are the property of Forest Hill Congleton Architect AIA. No part of these drawings or design is to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.

ARANA/BTC
DATE: 5-28-13
REVISED

11-7-13



EAST (MISSION STREET) ELEVATION
1/4" = 1'-0"

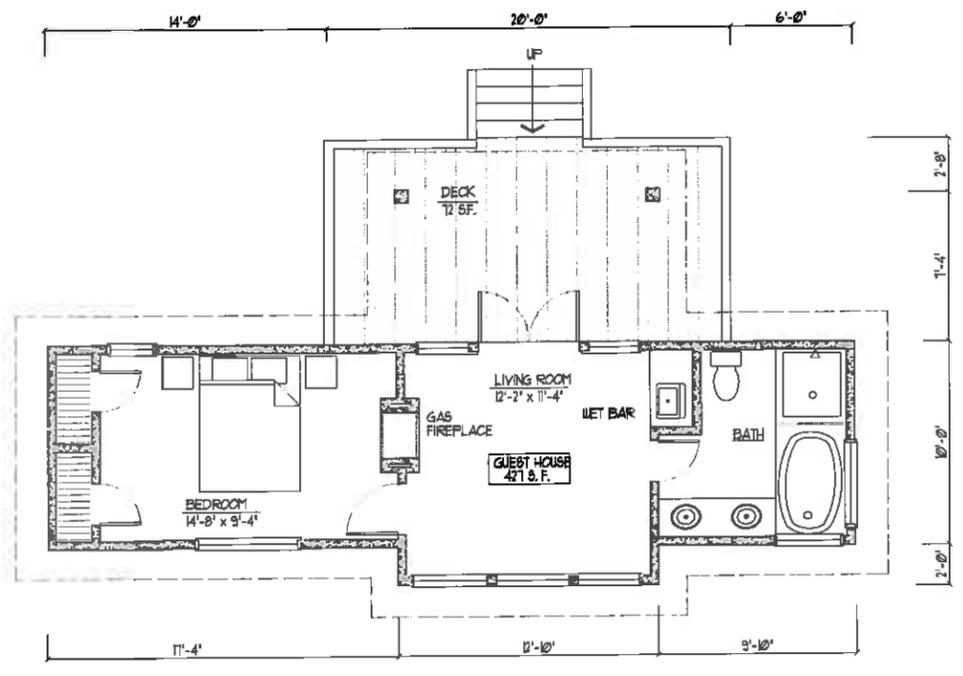
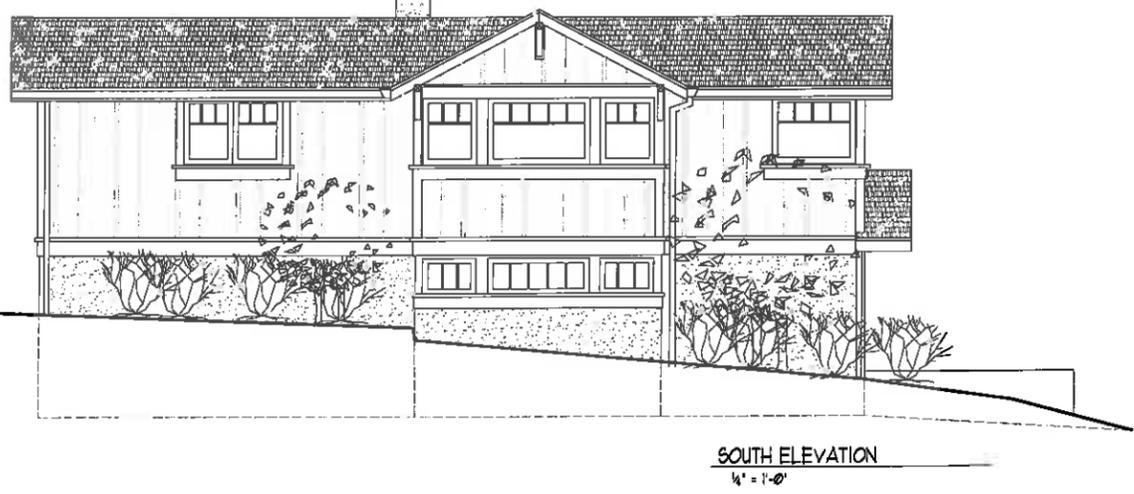
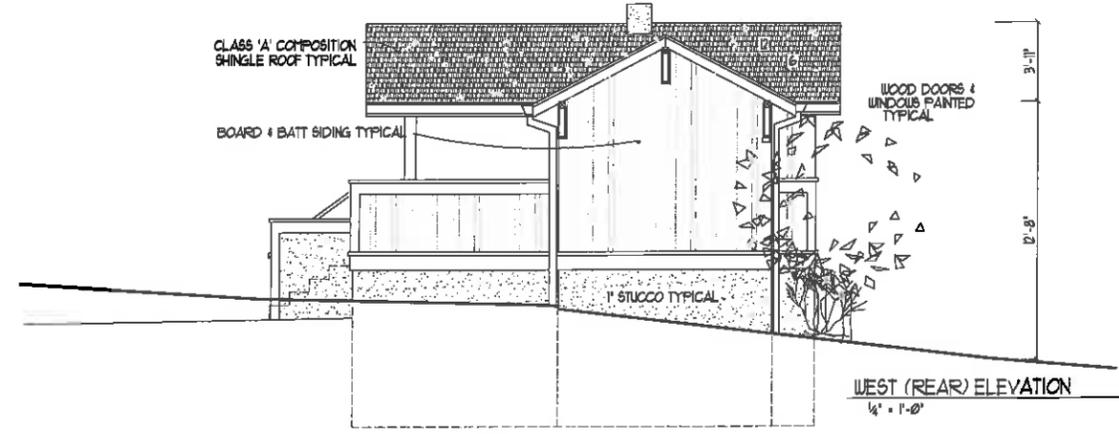
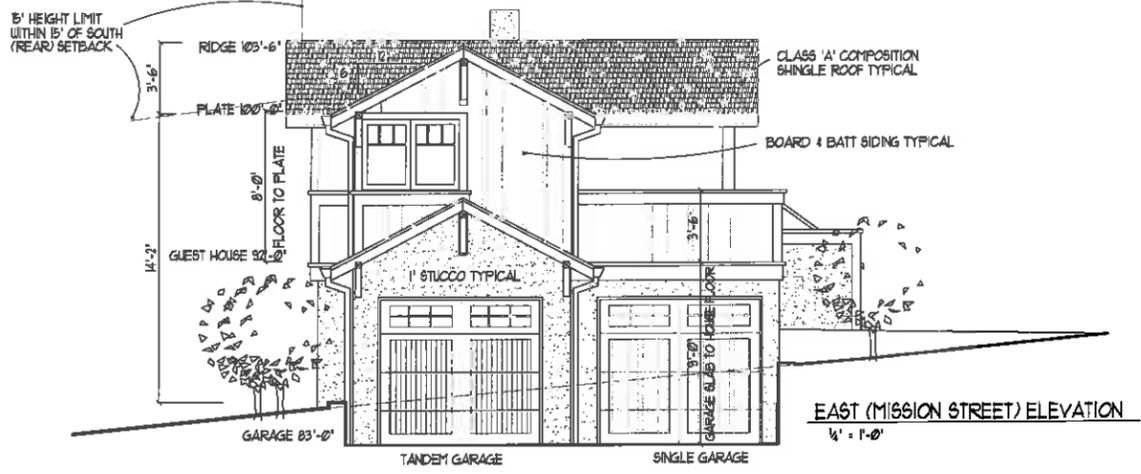


SOUTH ELEVATION - MAIN HOUSE (FOREST HILL)
1/4" = 1'-0"

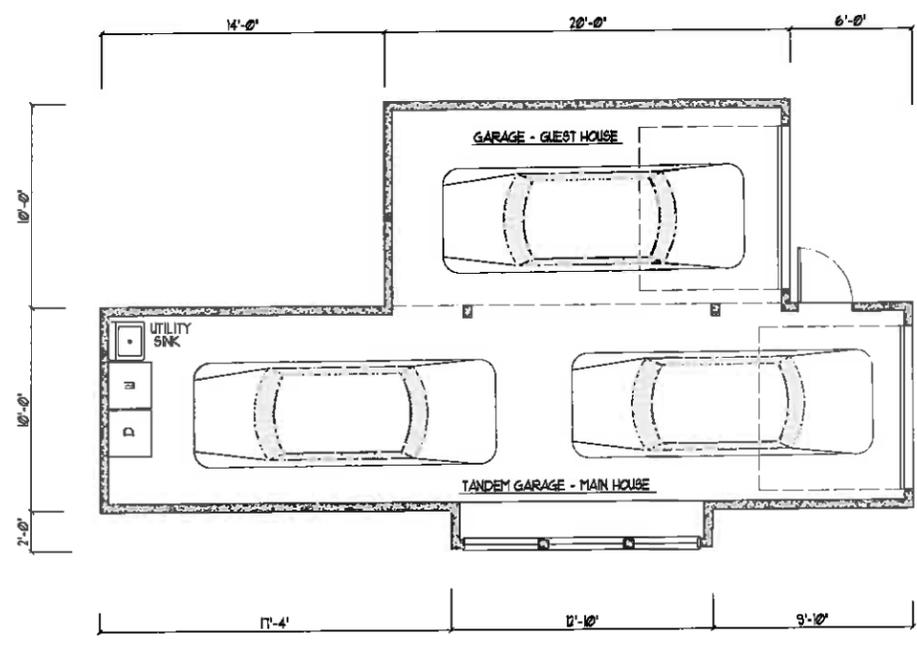
DESIGN REVIEW SUBMITTAL
REVISED NOVEMBER 7, 2013

FOREST HILL Congleton Architect AIA
Forest & Mission, Carmel
Post Office Box 478 Carmel, CA 95021 (831) 622-9228 License No. C-18030

SHEET NUMBER
5
5 OF 6



GUEST HOUSE PLAN (UPPER LEVEL)
1/4" = 1'-0"



GARAGE PLAN (LOWER LEVEL)
1/4" = 1'-0" 1000 SQUARE FEET

REVISED DESIGN REVIEW
OCTOBER 28, 2013

These drawings and the design represented herein are the property of Brian T. Congleton, Architect. Use in any manner is prohibited without the prior express written consent of the architect.
ISSUED BY: B.T.C.
DATE: 5-28-13
REVISED:
10-28-13

Congleton Architect AIA

Post Office Box 4118 Carmel, CA 95021 (831) 626-1628 License No. C-16000

FOREST HILL - GUEST HOUSE
SOUTH WEST CORNER OF FIRST & MISSION, CARMEL

SHEET NUMBER
6
6 OF 6



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 13, 2013

To: Chair Paterson and Planning Commissioners

From: Rob Mullane, AICP, Community Planning and Building Director RM

Submitted by: Marc Wiener, Senior Planner

Subject: Consideration of a Final Design Study (DS 13-69) and the associated Use Permit (UP 13-14) and Coastal Development Permit for the construction of a detached guesthouse and garage on a site containing a historic resource located in the Single-Family Residential (R-1), Park Overlay (P) and Very High Fire Hazard Severity (VHFHS) Zoning Districts

Recommendation:

Approve the Design Study (DS 13-69), Use Permit (UP 13-14), and the associated Coastal Development Permit subject to the attached findings and conditions

Application: DS 13-69/UP 13-14 **APN:** 010-121-011, 010-121-017, 010-121-021
Location: southwest corner of Mission Street and First Avenue (south end of property)
Block: 11 **Lots:** 1, 3, 5, & 7
Applicant: Brian Congleton **Property Owner:** Peter and Susan Loewy

Background and Project Description:

The project site is a 16,000-square foot property comprised of three separate lots. The property is located at the southwest corner of Mission Street and First Avenue and is developed with the historic Forest Hill School building, which was built in 1921. The site is historically significant under Criteria #1, in the area of history, as one of the first and longest-lived private schools in Carmel. The structure was placed on the City's Historic Inventory in 2002, and is currently used as a single-family residence. The residence is 3,529 square feet and does not contain any off-street parking.

The applicant is proposing to construct a new two-story garage and guesthouse that would be 1,027 square feet in size and located on the southern portion of the property. The upper level of the structure would include a 427-square foot guesthouse that contains a bedroom, living room, and full-bathroom. The lower level of the structure would include a 600-square foot, three-car garage. The garage would provide two off-street parking spaces for the main residence and the one-off street parking space for the guesthouse.

The proposed structure would be located approximately 45 feet south of the historic Forest Hill School building. The proposed finished materials include a combination of stucco on the lower level with board and batten siding on the upper level, unclad wood windows and doors, and a composition-shingle roof.

The applicant is proposing a voluntary lot merger that would merge three parcels into one. Pursuant to CMC 17.10.040, the voluntary lot merger entitles the property owner to a 3% increase in base floor area allowance.

In addition to the construction of the guesthouse and garage, the applicant is proposing minor modifications to the historic Forest Hill School building. The alterations include:

- replacement of the existing tar and gravel roof with composition shingles,
- replacement of an existing masonry chimney to match the existing chimney's design,
- repair and in-kind replacement as needed of the glass doors at the rear of the building, and
- replacement of the existing veranda at the rear of the building.

The Planning Commission reviewed this project conceptually on October 9, 2013. The Commission continued the application with a request that the applicant revise the design to mitigate the impact to the neighboring residence to the south.

PROJECT DATA FOR A 16,000-SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	4,620 sf (29%)*	3,588 sf (22%)	4,615 sf (29%)
Site Coverage	1,951 sf (12%)**	1,318 sf (8.2%)	1,950 sf (12%)
Trees (upper/lower)	5/4 trees	5/3	5/3
Ridge Height (1 st /2 nd)	18/24 ft.***	NA***	11 ft./20 ft.***
Plate Height (1 st /2 nd)	12 ft./18 ft.***	NA***	8 ft.6 in./ 16 ft. 7 in.***
Setbacks	Minimum Required	Existing	Proposed
Front	15 ft.	22 ft.	No Change
Composite Side Yard	25 ft. (25%)	25 ft. (25%)	58 ft****
Minimum Side Yard	3 ft./5 ft.	10 ft./15 ft.	43 ft./15 ft.****
Rear	3 ft.	85 ft.	15 ft.****
<p>* Includes a 3% bonus for voluntary lot merger (CMC 17.10.040.B.2.a).</p> <p>**Includes 2.5% tree density bonus for lot merger (CMC 17.10.040.B.2.c) and 4% bonus for permeable surfaces greater than 50% of total (CMC 17.10.3.C.1.b).</p> <p>*** Garage/Guest house height</p> <p>**** Garage/Guest house setbacks</p>			

Staff analysis:

Previous Hearing: The following is a list of changes requested by the Planning Commission and a response on how the applicant has or has not addressed each request.

1. *The applicant shall revise the design to mitigate the impact to the neighboring residence to the south.*

Response: In the original proposal the portion of the structure that included a flat-roof garage was located 7 feet from the south property line and a total of 10 feet from the neighboring residence to the south. The owners of the residence to the south expressed concern with the impact that the structure would have on the view and solar access from their north facing windows. The neighbor also expressed concern with the potential privacy impact that could be created by the proposed rooftop deck located above the garage.

The Planning Commission concluded that the proposed structure would impact the neighboring residence and directed the applicant to address the issue. To mitigate the impact, the applicant has flipped the design so that the flat-roof garage and rooftop deck is now located on the north side of the structure as opposed to the south side. As a result of the changes, the guesthouse/garage structure would be 15 feet from the south property as opposed to the previously proposed setback of 7 feet. The structure was also shifted 11 feet 7 inches east, which should reduce the building mass seen from the southern neighbor's windows. The Commission's site visit will help determine if the proposed design revisions adequately mitigate the impact to the neighboring residence to the south.

2. *The proposed guesthouse/garage shall be shifted out of the 6-foot setback of the significant pine tree at the southeast corner of the guesthouse structure.*

Response: In the original proposal it was identified that the proposed structure would encroach 2 feet into the 6-foot setback of a significant pine tree located on the south side of the property. The revised design would remove the structure from the setback of the tree.

Finish Details: Design Guidelines 9.5 states that *"stucco, in conjunction with some natural materials, may be considered depending on neighborhood character but should not be repeated to excess within a block."*

The applicant is proposing stucco siding on the lower level in conjunction with board-and-batten siding on the upper level. The applicant is proposing unclad wood doors and windows. The proposed finish materials are consistent with the Design Guidelines. Staff notes that the property is located in the Very High Fire Hazard Severity Zone (VHFHSZ) and is required to use fire-rated materials. This does not preclude the use of wood on the structure.

With regards to roofing materials, Design Guideline 9.8 states that *"wood shingles and shakes are preferred materials for most types of architecture typical of Carmel (i.e. Arts and Crafts, English Revival and Tudor Revival)."* Staff notes the applicant is proposing to use composition-shingle roofing. The Commission should discuss whether the applicant should be required to use wood shingle or shake roofing based on the recommendations in Design Guideline 9.8.

Guesthouse Use Permit: Pursuant to CMC 17.08.050.C, guesthouses are permitted on sites of 6,000 square feet or greater and are not allowed to have any cooking facilities. The approval of a residential Use Permit is required for the authorization of a guesthouse.

The applicant is proposing to construct a 427-square foot guesthouse above the three-car garage on the south end of the subject property. The guesthouse would include a bedroom, living room, and full bathroom. No cooking facility is proposed on the floor plan. A Use Permit with findings would be provided for the Planning Commission's consideration at the final review. A special condition has been drafted that the guesthouse not be used as a subordinate unit.

One off-street parking space is required for the guesthouse. If the Planning Commission determines that the proposed tandem parking arrangement is acceptable, the proposed three-car garage would meet the requirement of two off-street parking spaces for the main residence and one off-street parking space for the guesthouse.

Grading Plan/Driveway Design: The subject property slopes up from the street and is approximately 6 feet above the street grade in the area of the proposed guesthouse/garage structure. The applicant is proposing to lower the finished floor of the garage approximately 4 feet below the grade level, which will bring the garage floor closer to street grade.

The applicant is also proposing some grading at the front of the property and into the City ROW to smooth out the transition from the road to the garage. The proposed grading would require a retaining wall near the northeast corner of the structure, which would be 17 feet long and 4 feet high, and a retaining wall near the southeast corner of the structure, which would be 8 feet long and 2 feet high. No retaining walls are proposed in the City ROW. Staff notes that the driveway would consist of sand-set pavers and would have a width of 14 feet in the City ROW, which is the maximum that is allowed by Code.

The applicant is proposing to remove approximately 90 cubic-yards of soil from the property, which includes the area below the proposed structure and at the front of the property. Staff supports the proposal to lower the finish grade of the guesthouse/garage structure by excavating portions of the property. The proposal will lower the height of the building and will reduce the need for a steep sloped driveway.

Staff has included a condition requiring that the applicant provide a truck-haul route and traffic management plan to be reviewed by City staff, prior to the applicant submitting for a building permit. The plan is required to include the estimated number of truck trips, the expected duration of the excavation work, and any necessary traffic control measures.

Forest Hill School Alterations: As noted in the Project Description of this staff report, the applicant is proposing minor modifications to the historic Forest Hill School building. The alterations include the replacement of the existing tar and gravel roof with composition shingles, replacement of an existing masonry chimney to match existing, the repair and replacement in-kind of the glass doors at the rear of the building, and the replacement of the existing veranda at the rear of the building.

The proposed alterations were reviewed by the City's HRB on August 19, 2013, and a Determination of Consistency with the Secretary of the Interior's Standards was issued by the HRB. The most extensive portion of the work would occur for the replacement and repair of the deteriorated rear glass doors. The HRB's Determination of Consistency was issued with a condition that "the applicant shall work with staff to ensure that the glass doors are replaced in-kind to match the existing in design, material and dimensions. A note shall be added to the plans stating that the doors will be repaired where possible." Staff has included this requirement as a special condition for the Planning Commission's acceptance of this project.

Landscape Plan: The applicant has not provided a landscape plan. Staff has included a special condition requiring that the applicant provide a landscape plan to be reviewed by planning staff and the City Forester prior to submitting for a building permit. Staff notes that the southern neighbor has requested that landscaping be planted on the south end of the property to help screen some of the building mass. The Planning Commission should discuss whether the project should be conditioned with this requirement.

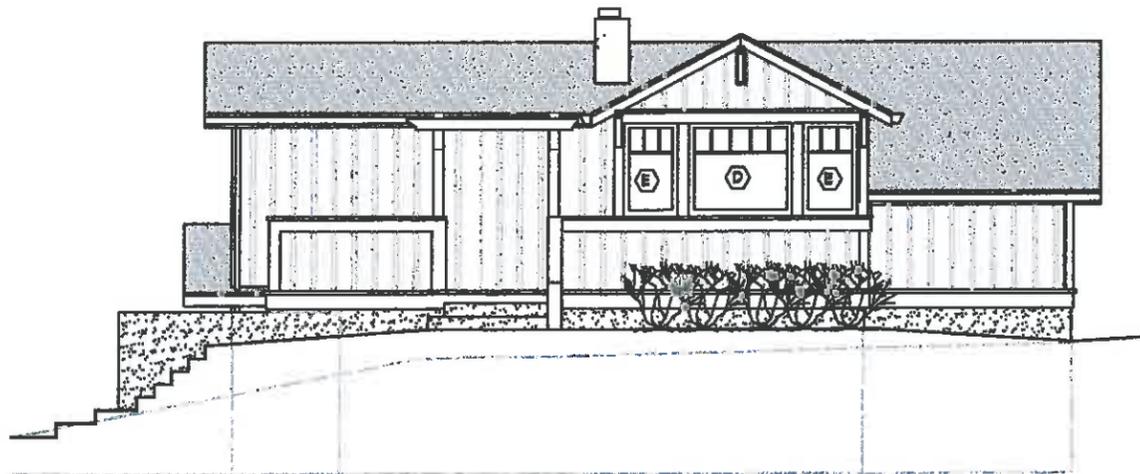
At the last Planning Commission meeting, it was noted that staff would consult with the City Forester to determine if any new trees should be planted on the 16,000-square foot property. As of the finalization of this report, staff has not had the opportunity to work with the City Forester on this issue, but will consult with the Forester prior to Planning Commission's review of the item.

Lot Merger: CMC Section 17.10.040 allows for a 3% bonus in base floor area and a 2.5% bonus in site coverage for lots that are voluntarily merged. The applicant is proposing to merge the three existing legal lots of record lots and therefore is eligible for these bonuses. As a condition of approval, the applicant must record a lot merger document prior to the issuance of a building permit.

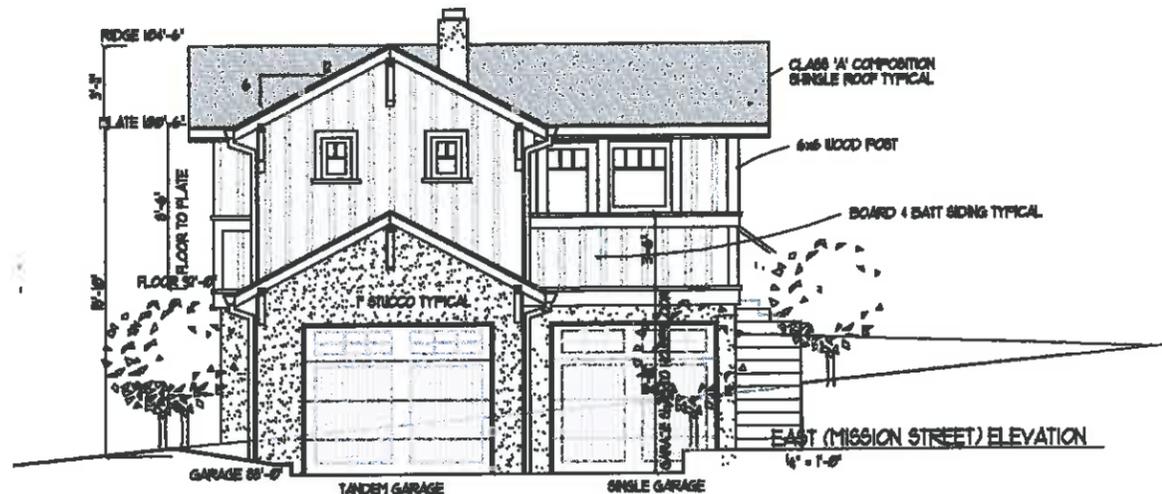
Environmental Review: The proposed project qualifies for a Class 3 exemption from CEQA, pursuant to Section 15303 of the CEQA Guidelines (Construction or remodification of a limited number of new or existing small structures). The project does not present any unique components that would have the potential for a significant environmental impact.

ATTACHMENTS:

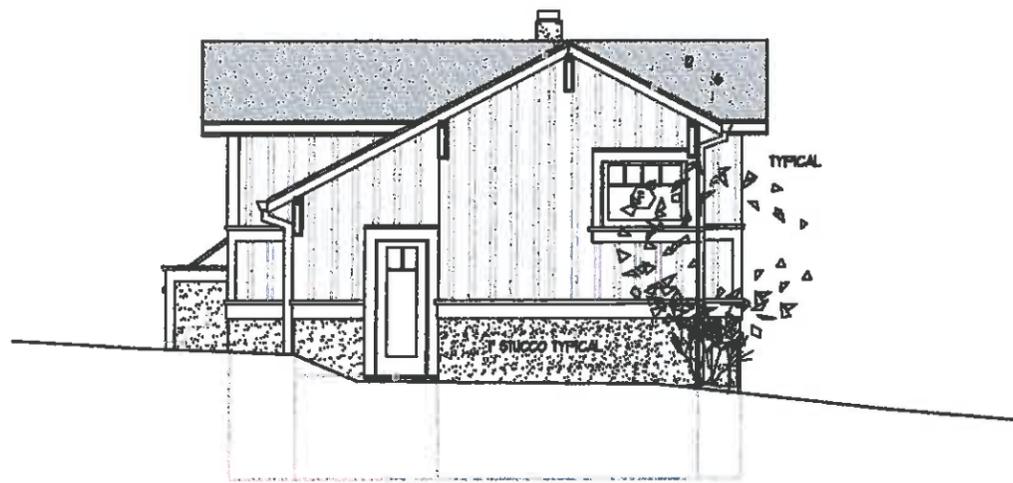
- Attachment A – Findings for Approval
- Attachment B – Conditions of Approval
- Attachment C – Site Photographs
- Attachment D – Project Plans



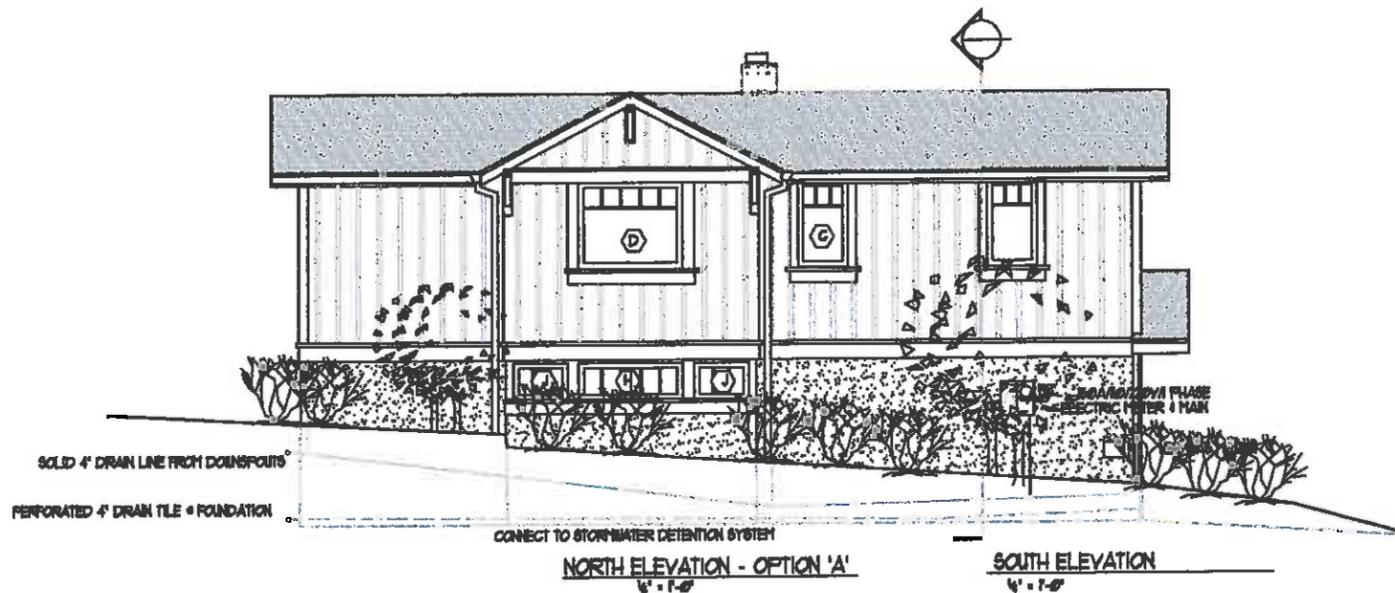
NORTH ELEVATION - OPTION 'B'
1/4" = 1'-0"



EAST (MISSION STREET) ELEVATION
1/4" = 1'-0"

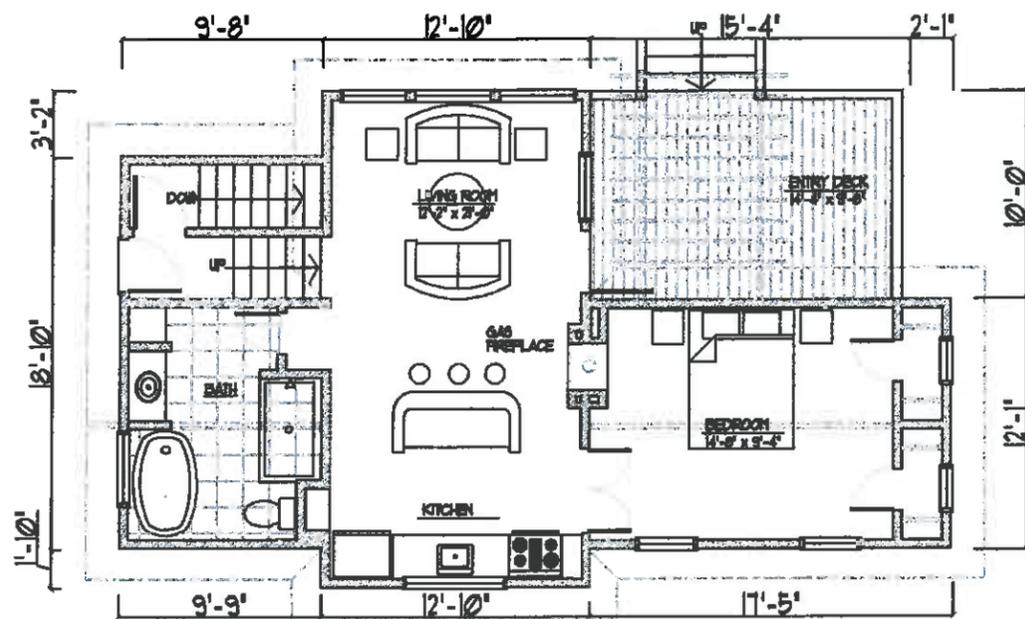


WEST ELEVATION - OPTION 'B'
1/4" = 1'-0"

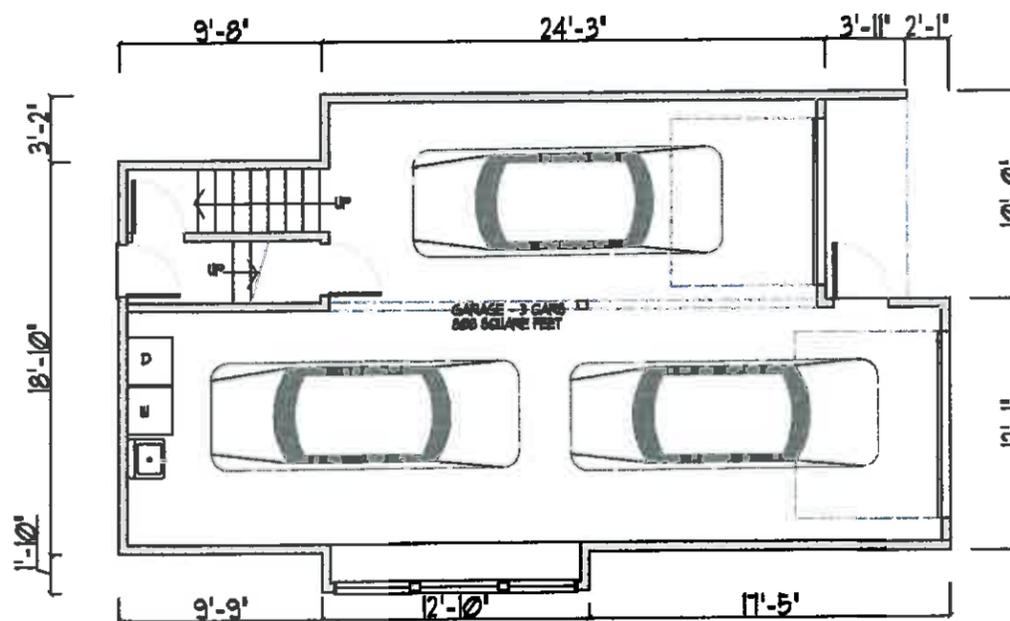


NORTH ELEVATION - OPTION 'A'
1/4" = 1'-0"

SOUTH ELEVATION
1/4" = 1'-0"



GUEST RESIDENCE
695 SQUARE FEET



GARAGE
148 SQUARE FEET
NOT INCLUDING STAIR



Congleton Architect AIA

Professional Seal of the Architectural Institute of America

FOREST HILL - GUEST HOUSE

SOUTH WEST CORNER OF FIRST & MISSION, GAITHERSBURG, MARYLAND





CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 8, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Interim Community Planning and Building Director

Submitted by: Catherine Tarone, Assistant Planner

Subject: Consideration of roofing material for a previously approved Design Study (DS 15-466) authorizing the demolition of an existing residence and construction of a new residence located in the Single-Family Residential (R-1) Zoning District.

Recommendation:

Review the roofing material and determine the appropriate action.

Application: DS 15-466 **APN:** 010-261-011
Block: G **Lot:** south 37' of lot 8, north 20' of lot 10
Location: Camino Real, 3 SE of Ocean Avenue
Applicant: Richard K. Rhodes **Property Owner:** Joseph A. Murphy

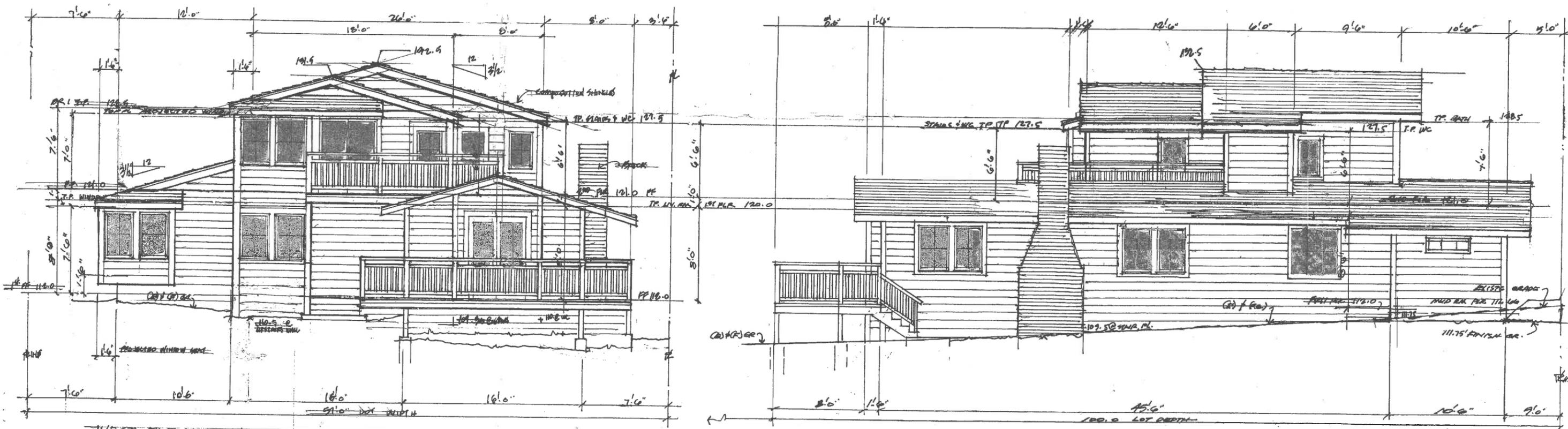
Background and Project Description:

On March 9, 2016, the Planning Commission approved Design Study (DS 15-466) and Coastal Development permit applications for the demolition of an existing residence and construction of a new 2,371-square foot two-story residence. The residence was approved with cement fiber board siding that has the appearance of horizontal wood siding. At the meeting the applicant requested composition-shingle roofing, but did not bring any samples. The Planning Commission approved the project with a condition that the applicant return with a roofing sample. The applicant has provided a composition-shingle roofing sample for the meeting and as an alternative is also proposing cement fiber board shingles, which would match the siding uses on the residence.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence and a detached garage in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

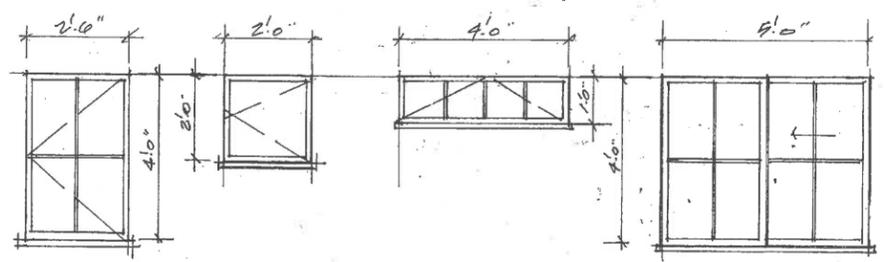
ATTACHMENTS:

- Attachment A – Elevation Drawings

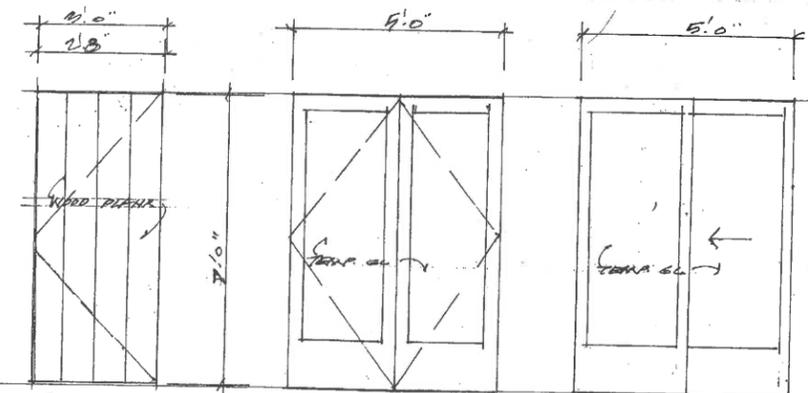


WEST ELEVATION, CAMINO REAL
1/4" = 1'-0"

SOUTH ELEVATION (SIDE)
1/4" = 1'-0"



CASHEMENT CASHEMENT PROJECTING SLIDING
CLAD WOOD WINDOWS - TRIPLE DIVIDED - SIERRA PACIFIC MFG.
1/4" = 1'-0"



WOOD DOOR FRENCH DOOR SLIDING/CLAD WOOD
SIERRA PACIFIC SIERRA PACIFIC

MURPHY RESIDENCE
CAMINO REAL 3 SE DR OCEAN CARMES BY THE SEA
RICHARD K RHODES ARCHITECT

EXTERIOR ELEVATIONS 1/4" = 1'-0"
16.11.15
2.20.16 REV

Sporting Goods, Bicycles, Hobbies, Toys and Games.

- a. All merchandise must be contained within an enclosed building.*
- b. These uses may be combined with each other, apparel stores and with sales of motorcycles, mopeds.*
- c. Uses that include motorized bicycles, mopeds or motorcycles are not allowed in buildings fronting on Ocean Avenue or within 300 feet of an R-1 district.”*

Bicycles are also addressed in CMC 17.14.40.D, which states the following:

Automobile Sales and Services. This category excludes sales, leasing or rental of automobiles, tractors and similar vehicles. This category also excludes car washes except hand wash, waxing and detailing businesses.

1. Motorcycles, Moped and Parts.

- a. All merchandise must be contained within an enclosed building.*
- b. Uses that include bicycles, mopeds or motorcycles are not allowed in a building fronting on Ocean Avenue or within 300 feet of an R-1 district.*
- c. This use may be combined with apparel, sporting goods, hobbies, toys and games.*

Further processing and approval of this business license is dependent on a determination that bicycle rentals are permitted in Carmel’s Commercial Zonings Districts. Staff is seeking guidance from the Planning Commission as to whether a bicycle and electric bicycle rental store may be allowed in the Commercial Zoning District and whether the applicant’s proposal to offer bicycle tours is compatible with Municipal Code requirements.

Staff Analysis:

Bicycle Rentals: Businesses involving bicycles are addressed in CMC 17.14.40.T.14 Sporting Goods shops, and in CMC 17.14.40.D Automobile Sales and Services. Although the regulations pertaining to Automobile Sales and Services stipulate that the rental of automobiles is excluded from this category, it does not specifically address the rental of bicycles. Nor are bicycle rentals addressed in 17.14.40.T.14 which stipulates requirements for Sporting Goods stores.

In staff’s opinion, the omission of bicycle rentals in the Municipal Code is likely intentional. There are potential impacts associated with a bicycle rental shop, including disruption of traffic

flow and pedestrian flow along the sidewalk. However, staff raises the question as to whether the intent of the Municipal Code is to allow bicycle rentals, which is why there is a requirement for a 300-foot distances from the R-1 Zoning District and a prohibition bicycle shops on Ocean Avenue. The intent of the 300-foot buffer could be to protect surrounding residential uses and Ocean Avenue from activity associated with bicycle rentals. Staff is requesting the Planning Commission's direction this issue.

Business Location: According to the applicant's project description, (see Attachment A), the bicycle rental shop is proposed to be located in a 675-square-foot commercial space at the rear, north-west, corner of the Mail Mart building on Dolores Street, 2 NW of 5th Avenue (See Attachment B for Photographs of the Building). The subject property is located within 300 feet of the R-1 zoning district (See Attachment C for Map). Both Municipal Code sections (CMC 17.14.40.T.14 and CMC 17.14.40.D) do not allow bicycle retail or rental shops within 300 feet the R-1 district, thus the proposed business location is not allowed for this use. If the Planning Commission determines that a rental shop is allowed, the applicant would have to find a new location that meets the code requirements.

Bicycle Tours: According to the applicant's project description, the applicant would like to propose as a second ancillary use the provision of bicycle tours of up to 8 riders. The applicant proposes, *"A local historic tour of notable landmarks, such as Carmel Mission and Point Pinos Lighthouse"* and *"A 'bike and hike' tour to Point Lobos,"* but notes that *"exact times and routes are to be determined in order to maximize safety and to minimize disruption to the community and will be lead in a safe and respectful way."*

The Municipal Code provides standards for walking tours (see Attachment D), however it does not provide standards for bicycle tours. In staff's opinion, additional regulations may be required to ensure that bicycle tours are conducted in a safe manner in the City. Staff requests guidance from the Planning Commission as to the applicability of the City's standards for walking tours to bicycle tours. Staff also notes that the Circulation Element of the City of Carmel's General Plan provides a map depicting Bus, Truck and Class III Bike routes in the City of Carmel (see Attachment E).

ATTACHMENTS:

- Attachment A – Project Description Letter, Proposed Floor Plan
- Attachment B – Photographs of the Property and of the Proposed Electric Bicycle Rentals

- Attachment C – Map of Proposed Business Location and R-1 Properties Within a 300-foot Radius
- Attachment D – CMC 5.36 Walking Tour Regulations
- Attachment E – Map of Bus, Truck and Bike Routes in the City of Carmel (Excerpted from the Circulation Element of the General Plan)

Carmel Electric Bike Company

Ryan and Jill Bell

e-mail: ryan@carmelebike.com

1850 E. Las Tunas Rd • Santa Barbara, CA 93103 • Phone: 805-698-2200



Date: May 18, 2016

City of Carmel-by-the-Sea

Community Planning and Building Department

Post Office Drawer G

Carmel-by-the-Sea, CA 93921

(831) 620-2010

Attention: Catherine Tarone, Assistant Planner

Subject: Response to Completeness Review Letter dated May 13, 2016

Business License Application: (BL 16-188)

Dear Planning Department and Planning Commission:

Thank you for your initial review of my application and your carefully considered questions, which I will address here. Per my application, it is my intent to offer bicycle and ebike rentals, sales, tours and delivery service as well as sales of bicycle-related apparel and accessories. The following addresses your specific questions:

1. The Planning Commission referral fee of \$206.66 has been paid to the Planning Department via credit card.
2. "Declare a fixed location for your proposed business that complies with the Municipal Code Requirements for retail bicycle sales."

The proposed business location (revised) for this business is located at parcel # 010138003, Block #55, Lot 5 & 7, WS of Dolores between 5th and 6th, previously occupied by Pac Mail. This location has an adjacent staging area, away from downtown, public sidewalks and the busy pedestrian-heavy Ocean Avenue. It also has a long covered driveway with easy and safe access to Dolores Street. Customers will be informed and required to avoid Ocean Avenue for safety reasons, even though my understanding is that it is not illegal to traverse any public thoroughfare.

All bicycles will be stored inside the business location at all times. A staging area will be used for safety instructions and pre-tour gathering. This staging location is in the back of the building, hidden from public view.

3. "Compose a floor plan."

Please see additional attachment of floor plan.



4. "Include on the floor plan the amount of floor area to be occupied by both the primary and ancillary use."

Please see floor plan attachment.

5. "Specify the types of electric bicycles that will be used for rental including whether they will be class 1 or class 2 and their maximum speeds."

Only conventional bicycles and electric pedal-assist bicycles with top assisted speed of 20 mph will be available for rent and sale. All of our pedal assist bicycles are class 1 as described in recent Assembly Bill No. 1096 approved by Governor Brown. They are not classified as "motorized bicycles". We do not intend to rent any motorized vehicles such as motorcycles, Mopeds, Gopeds, motorized scooters, motorized bicycles, Segways or even non-motorized 4 wheel surreys.

6. "If tours are proposed, include specific details regarding the proposed route and number of people to be accommodated by the tour."

Tour sizes will be up to 8 riders. Once all customers have been instructed and fitted with helmets complying with ANSI (American National Standards Institute) bicycle helmet standards, they will exit out the driveway, turning left on Dolores Ave, away from Ocean Ave. The tour guide and riders will be required to obey all traffic and bicycle laws and regulations, and to avoid Ocean Avenue and other heavy pedestrian areas. Easy to read maps of the area will be provided to all cyclists, whether participating in a tour or renting individually.

Proposed tours include:

- a local historic tour of notable landmarks, such as Carmel Mission and Point Pinos Lighthouse
- a "bike and hike" tour to Point Lobos

Exact times and routes are to be determined in order to maximize safety and to minimize disruption to the community and will be lead in a safe and respectful way.

7. "If a delivery service is proposed, provide additional details regarding the type of delivery services to be provided."

Delivery of bicycles will be offered to customers who may be too far to walk, or have difficulty walking to our storefront location, and to groups who would be parking multiple cars. We would like to be able to deliver bicycles to their homes or hotels by riding the bikes to them when possible, and when not, with a bike rack on a fuel efficient SUV or Minivan. We will also offer pick-up or rescue services with



the same vehicle for riders who may have a bicycle breakdown, need a repair, or are in need of assistance in any way. We believe this service is important to support both the local and tourist community in order to avoid unnecessary traffic, parking and congestion when people are not able to walk to our location.

I believe all aspects of this proposed business are related to a “bicycle umbrella”, all complementing each other as well as being bike-specific.

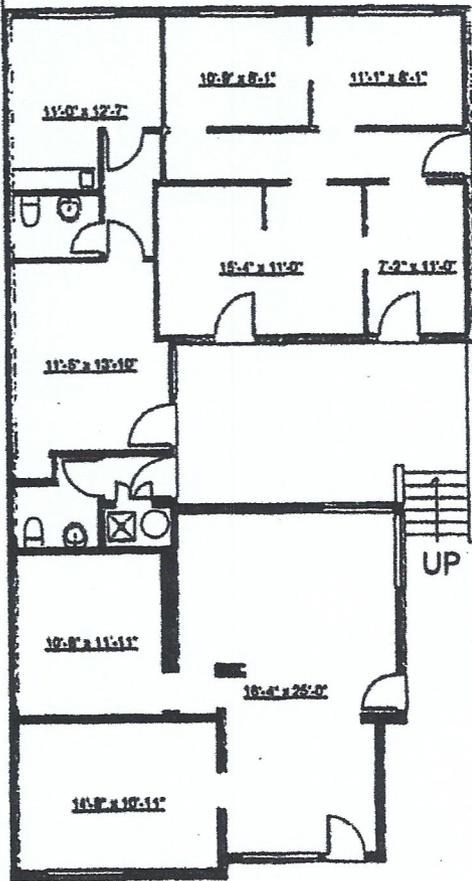
In conclusion, I am excited about the potential of this business to help reduce the number of automobiles on our roadways while enabling our residents and visitors to enjoy the Monterey Peninsula in a healthy, eco-friendly way. Pedal assist bicycles help enable a wider group of people to get out and explore. They are a great “equalizer” for recreation, allowing access to those who may need a boost of confidence that they will be able to keep up with their more fit or younger companions by giving them assisted power when they need a little help to make it up a hill or to go longer distances.

Thank you for your careful consideration. My wife, Jill and I are very excited about the prospect of becoming part of your very special community.

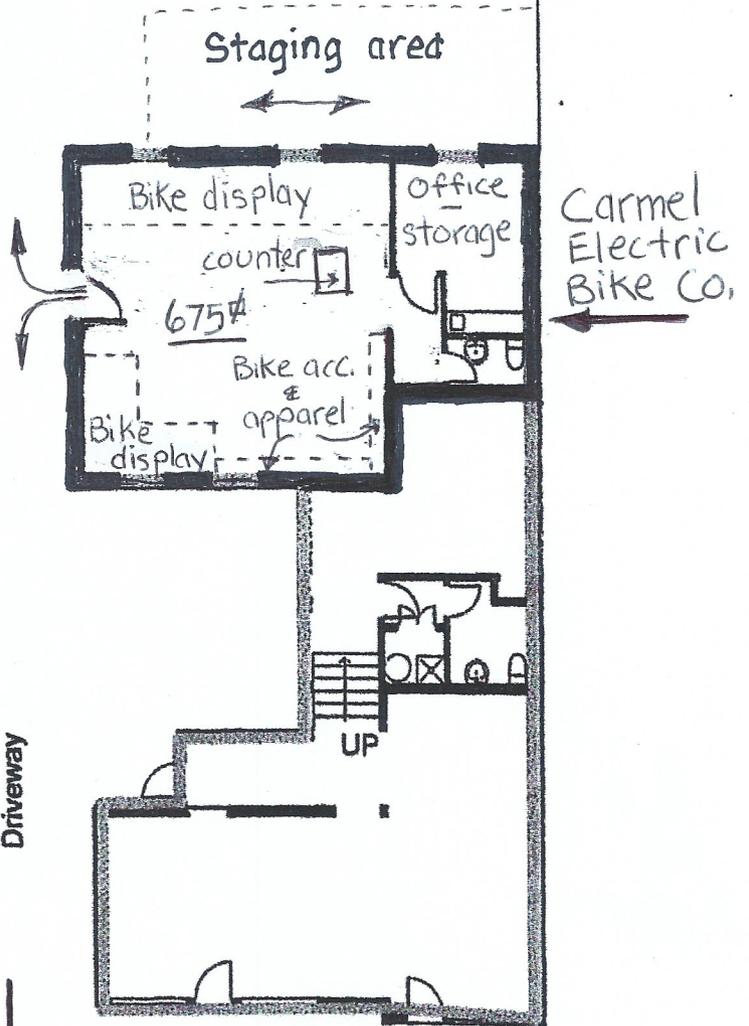
Sincerely,

Ryan Bell

wall around
Parking Area



South



North

DOLOROS ST.

← Ocean Ave.

Bikes exit & return →

100 DOLOROS ST. between 5th & 6th

Attachment B – Photographs of Proposed Business Location and Driveway





Proposed Business Location for the Bicycle Rental Shop



Front Door of the Bicycle Rental Shop where Bicycles will Exit and Enter



Proposed Staging Area for Bicycles for Bicycle Renters to Gather and Receive Pre-Tour Instructions





Photographs of Proposed Electric Bicycles





Electric Pedal-Assist Motor is Contained near the Pedal in this Model





Digital Speedometer



Property location and parcels within 300 feet of the property



City of Carmel-by-the-Sea
 Planning Department
 300 Foot Mailing Map
 APN - 010138003000



FILE NAME:
 300 foot APN
 010138003000



PRINT DATE :
 05/31/2016

- APN: 010138003000
- 300ft Radius of APN: 010138003000
- Parcels within 300ft Radius of APN: 010138003000
- Parcels
- R-1 Single-Family Residential Parcels within 300 feet of the project site



Chapter 5.36 WALKING TOURS

Sections:

- [5.36.020](#) Permit Required – Applicability.
- [5.36.030](#) Time, Place and Manner Restrictions.
- [5.36.040](#) Exemptions.
- [5.36.050](#) Permit Submittals and Approvals.
- [5.36.060](#) Definitions.

5.36.020 Permit Required – Applicability.

Walking tours are prohibited except as provided in this chapter. All operators of commercial walking tours shall obtain a gross business license authorizing the conduct of business within City limits. Existing businesses operating without a license shall obtain one within 60 days of the effective date of the ordinance codified in this chapter or shall cease operations within City limits. The City Administrator or his/her designee is authorized to issue such licenses when the applicant meets the qualifications established in this chapter and agrees to comply with all standards for walking tours adopted by the City. (Ord. 2005-03 § 1 (Exh. A), 2005).

5.36.030 Time, Place and Manner Restrictions.

A. All walking tours shall be conducted only during the following hours:

1. Monday through Saturday, 9:00 am. to 5:00 p.m.
2. Sunday, 9:00 a.m. to 2:00 p.m.

B. No voice amplification systems (portable public address systems, bull horns, etc.) shall be used for any walking tour.

C. Walking tour guides/docents/tour operators shall at all times control the walking tour group so as to minimize interference with pedestrian and vehicular travel along the City's sidewalks and streets, respectively. At each point of interest where a group stops, the group shall be positioned to maintain a clear path of travel through the area for anyone not associated with the walking tour group. Walking tour groups shall not:

1. Stop or stand off the sidewalk (in the street) when a sidewalk exists. In no case shall a group stop or stand in an intersection.

2. Obstruct any driveway, marked parking space, street or roadway.
3. Obstruct the entrance to any residence, commercial establishment or public building.
4. Enter upon any private residential property in any land use district unless the tour operator has obtained the prior written permission of the property owner(s).
5. Cross any street except at intersections and using designated crosswalks when available.

Walking tour operators shall, by verbal or written means, inform tour participants of the City's regulations on tour group behavior, subsections (C)(1) through (C)(5) of this section, at the commencement of each tour.

D. No retail sales shall be conducted as a part of any walking tour except as allowed within any fixed place of business licensed for such use.

E. Except as provided in CMC [5.36.040](#), the maximum size of any walking tour group shall be limited to 21 persons, including the tour leader/docent.

F. Except as provided in CMC [5.36.040](#), walking tours shall be limited to routes located on or within the boundary identified in Figure 1 following this chapter. (Ord. 2005-03 § 1 (Exh. A), 2005).

5.36.040 Exemptions.

Any nonprofit organization or commercial walking tour operator, when conducting special-event walking tours not more often than four times per calendar year, is exempt from the standards of CMC [5.36.030](#)(B) and (F). All other standards of that section shall apply equally to all walking tours. (Ord. 2005-03 § 1 (Exh. A), 2005).

5.36.050 Permit Submittals and Approvals.

Upon the filing of a complete application and fee, the City Administrator or the Administrator's designee shall take action to approve or deny the application and inform the applicant. Appeals of decisions on business licenses shall be as established elsewhere in this title. (Ord. 2005-03 § 1 (Exh. A), 2005).

5.36.060 Definitions.

A. "Commercial walking tour" means a walking tour for which a fee or other remuneration is charged. This definition excludes tours organized by nonprofit (501(c)3) organizations registered with the State and for which donations only are requested from tour participants.

B. "Walking tour" means any assembly of two or more persons led on foot, by a guide, docent or tour operator who represents or works for a business, organization or other entity, the purpose and/or activity of which, in whole or in part, is to provide walking tour services to individuals or groups, as a means of transmitting information associated with sites visited. Common topics for walking tours include people, places, ideas, architecture, natural history, environments, culture or events. (Ord. 2005-03 § 1 (Exh. A), 2005).

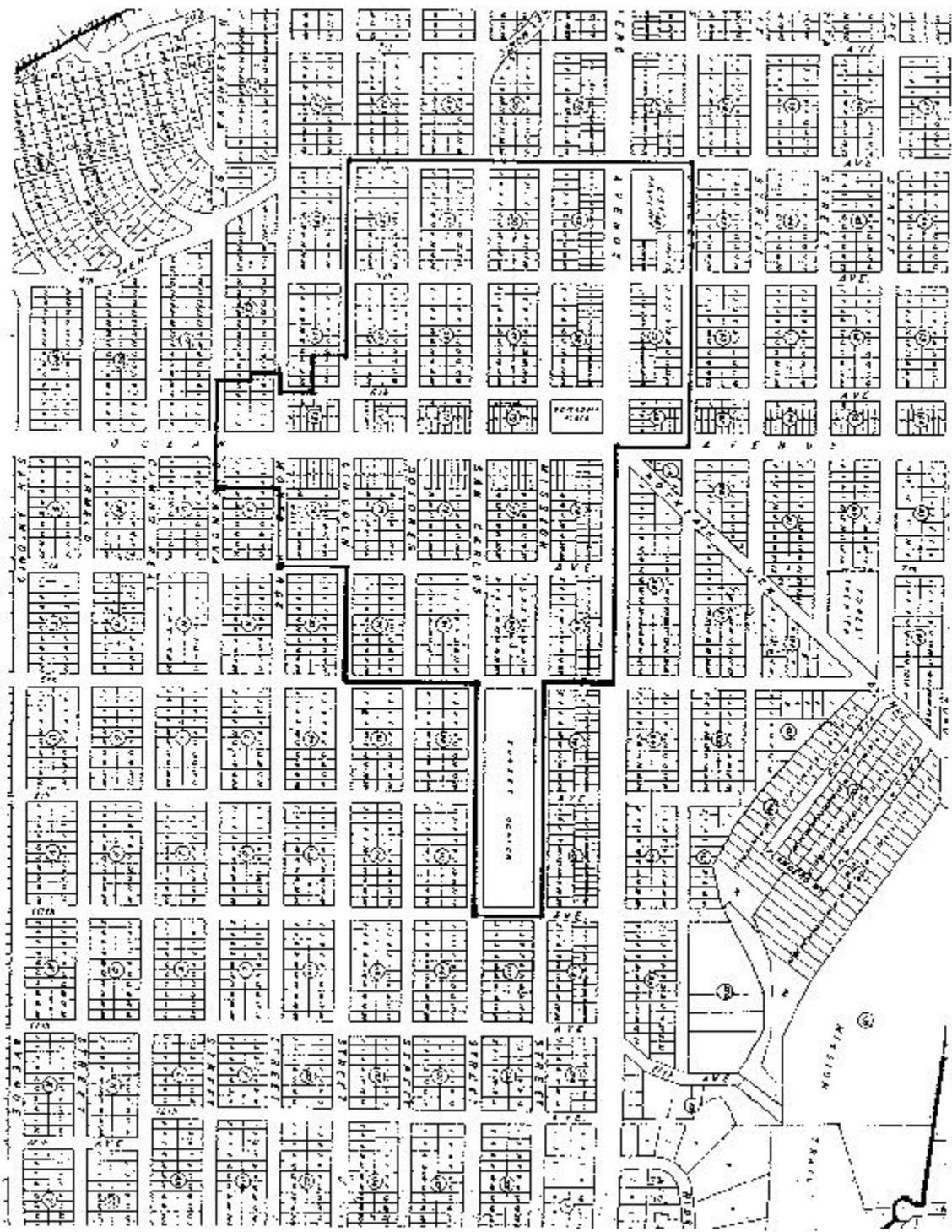
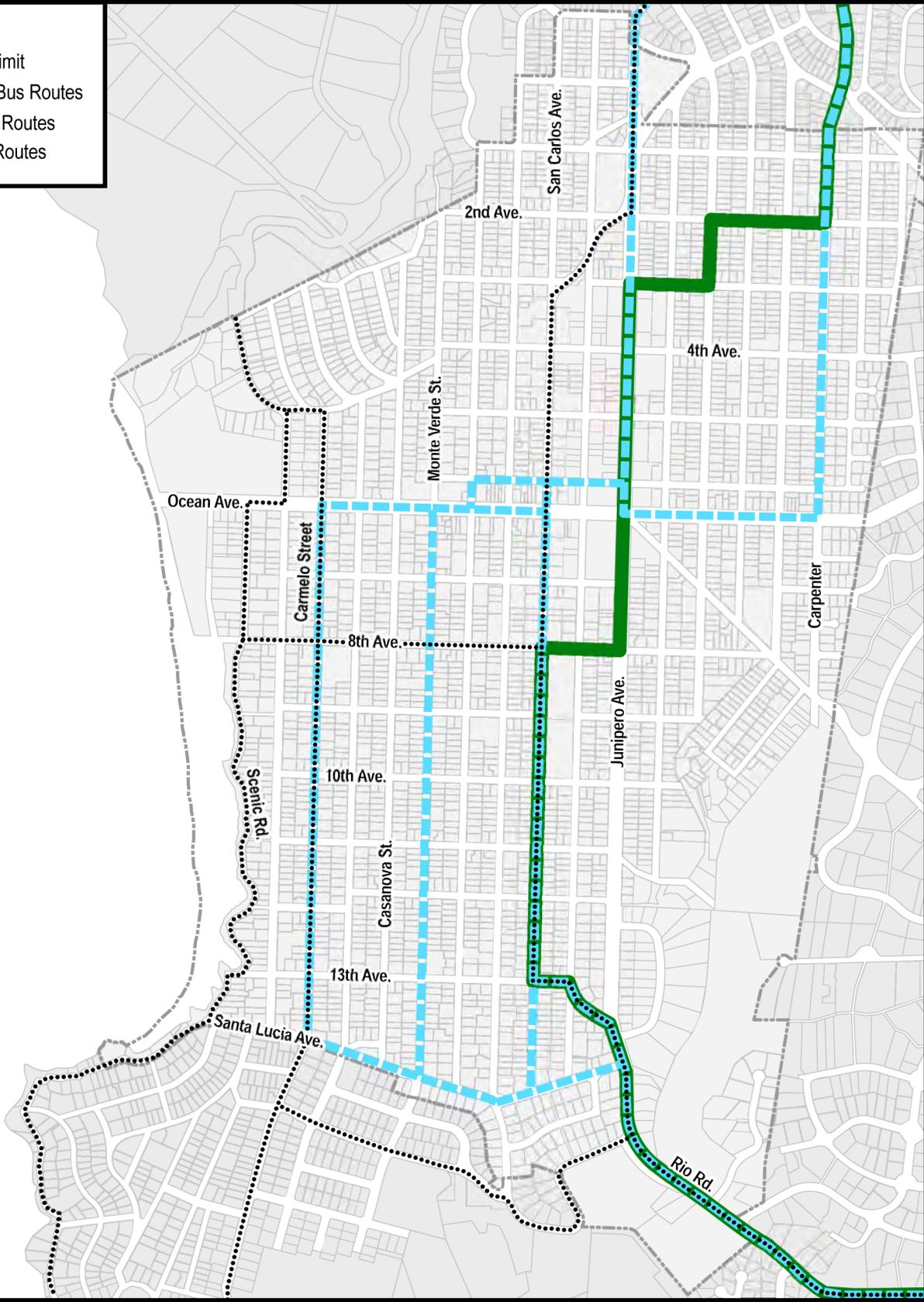


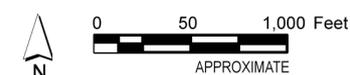
Figure 1

Legend

- City Limit
- MST Bus Routes
- Truck Routes
- Bike Routes



Source: City of Carmel (2009), MST (2009), Carmel Bike Plan (1997)



CARMEL-BY-THE-SEA GENERAL PLAN UPDATE Bus, Truck, and Bike Routes

Figure 2.2

5/11/09 JN 70-100077

The residence is significant at the local level under criterion #2 established by the California Register of Historical Resources, PRC Section 5031 (3), for its association with early civic leader, Alfred P. Fraser, the City of Carmel-by-the-Sea's first mayor. It is also significant under criterion #3, as an excellent example of Craftsman Style residential design. Character defining features include its one-and-two-story height, irregular plan, wood-shingled exterior wall-cladding and roof covering, low-pitched roof, and low-pitched and intersecting stepped gabled roof system.

The existing residence is 2,521 square feet in size. The applicant is proposing to add 965 square feet including 310 square feet to the main floor, and 84 square feet to the upper level, and 571 square feet to a proposed new lower floor that will be partially underground (but not a "basement" as defined in the CMC). The project consists of the following components: (1) the addition of a single-story family room and fireplace on the north elevation, (2) a small extension of a deck built in 2004 at the north and west elevations of the property, (3) the addition of a small bathroom at the north end of the upper-story, (4) the creation of a new, lower-level addition that will be partially underground as seen on the south and west elevations and will contain two bedrooms, a bathroom and steps connecting to the main level, (5) construction of a deck off the living room that is functionally a roof for the new bedroom spaces below, (6) removal and reconfiguration of site coverage (decks, steps, patios, walkways), and (7) 55 cubic yards of cut and seven cubic yards of fill.

The new addition is proposed to have painted wood shingle siding that will use a pattern of differing shingle widths to ensure the new is differentiated from the original historic shingles (also painted)(Refer to Sheets A3.2 and A3.3). In addition, the muntins, window casing and window apron of all new windows on the addition will be altered slightly to differentiate them from existing windows. All work shall conform to the approved plans except as conditioned by this permit.

Because of the historic status of the residence the project plans were reviewed by the Carmel Historic Resources Board (HRB) who issued a Determination of Consistency with the Secretary's Standards for the remodel at their May 16, 2016 meeting. The transcript of this meeting is available to the public and Commissioners if they would like more background on the review process related to this residence. Two Special Conditions were required of this project by the HRB, which are included in the attached Conditions of Approval. In addition, Mr. Kent Seavey, the City's Historic Preservation Consultant, reviewed the plans and concluded that the proposed remodel is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	3,600 sf	2,521 sf	3,486 sf
Site Coverage	1,272 sf	1,388 sf	1,272 sf
Trees	3 Upper /1 Lower (recommended)	1/2	1/2
Ridge Height (1 st /2 nd)	18'/24'	18'/23'	15'/22'
Plate Height (1 st /2 nd)	12'/ 18'	12'/20'	same
Setbacks	Minimum Required	Existing	Proposed
Front	15'	20'	Same
Composite Side Yard	10' (25%)	60'	57'
Minimum Side Yard	3'	29'	30'
Rear	15'	25'	7'-9"

Staff has scheduled this application for both conceptual review and final review details. If the Commission has concerns that cannot be addressed at one meeting it may continue the application.

Staff Analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The City Forester visited the site with the City Planner in late 2014 as part of the Preliminary Site Assessment process and identified sixteen trees on the property including two significant Coast Live Oaks and one significant Coast live oak (Tree #14), one moderately significant Holly tree (Tree #1), and fourteen non-significant trees of different species. The aforementioned Oak tree has been poorly maintained and the Forester recommends restoration by pruning over a period of years to re-establish a natural form. The Forester evaluated conditions again in March 2016 and determined that two upper and one lower canopy tree would be appropriate. The Forester also recommends that all ivy be removed from the site.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcels”* and *“maintain privacy of indoor and outdoor spaces in a neighborhood”* and *“maintain view opportunities.”*

Staff has not identified any view impacts that would be created by the new residence. As to the privacy issue, the property is secluded from neighbor properties because of a combination of fencing, perimeter vegetation, the large lot size (12,000 sf), and building setbacks.

The existing residence has a second floor bedroom that will be remodeled with a new bathroom constructed on the north side. Review of the window area indicates that this second floor remodel will reduce window area on the north elevation by 4 sf, but increase window area by 5 sf feet on each of the west and east elevations. However, the size of these windows and there substantial setbacks from other properties does not create significant privacy issues. In addition, the remodel of the first floor north elevation will result in a net decrease in total window / glass door area by 23 sf. On the west elevation main floor there is a net increase of 27 sf of window / glass door area. In addition, the additional windows and doors on the west and north elevations related to the new partial-underground bedrooms are not considered to have privacy issues as it pertains to adjoining property. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 5.1 through 5.3.

Mass & Scale: Residential Design Guidelines 7.1 through 7.6: *“Minimize mass of a building as seen from the public way or adjacent properties”*, *“When locating floor area in a below grade or partially below-grade space, minimize the visual impacts as seen from the public right-of-way and site disturbances”*, *“locate some floor area either fully or partially below grade”*, and *“presenting a one-story height to the street”*. Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”*

The proposed remodel modifies the second floor of the existing wood-framed Craftsman Style residence with an 8’ x 10’ extension on the north elevation. The first floor is extended to the north with an approximately 18’ x 18’ addition.

The combination of window size, their location, building dimensions with varied setbacks, varied ridge heights, partial undergrounding of the two new bedrooms, all combine to create a reasonable human-scale form and appearance. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 7.1 through 7.6.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings", roof eave lines should appear low in scale", "a roof form should be in proportion to the scale of the building"*. The Guidelines emphasize using *"restraint" and "simplicity" in building forms, which should not be complicated, and roof lines, which should "avoid complex forms."* Changing roof heights helps to break up the mass, while keeping the overall roof forms simple in character.

Character defining features include its one-and-two-story height, varied setbacks, wood-shingled exterior wall-cladding (painted) and roof covering, and low-pitched and intersecting stepped gabled roof system.

The new second story addition will be used for a bathroom and replace the existing second-floor bathroom, which will be converted into closet space. The ridge elevation of this new bathroom is one foot lower than the existing second floor ridge elevation. The change in the ridge line helps to break up the building mass and keeps the roof forms simple in character. The exterior is clad with painted wood shingles. A new chimney will be installed on the north side of the new addition and will be of the same brick style as the existing chimney located on the west elevation.

This project achieves appropriate scale and form through breaking up the building into sections of varied dimensions that create a harmonious arrangement of shapes and setbacks. In staff's opinion, the roof design is simple and complements the building style and the neighborhood and so meets the objectives of Residential Design Guidelines 8.1 through 8.3.

Exterior Lighting: With regard to light fixtures, Municipal Code Section 15.36.070.B.1 and 2 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture and no closer than 10 feet apart. Furthermore, *"Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property."*

In addition, the City's Residential Design Guidelines, Section 11.8, states, *"Preserve the low nighttime lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas. Appropriate locations may include building entries, gates,*

terraces, walkways, and patios,” and “[...] Point lights downward to reduce glare and avoid light pollution”, “Locate and shield fixtures to avoid glare and excess lighting as seen from the neighboring properties and from the street”, and “Lights should not be used to accent building or vegetation”.

The location and style of the proposed wall-mounted light fixtures are depicted on building elevations on Sheet L-1 of the Project Plans. A total of 6 wall-mounted light fixtures are proposed, each with frosted glass. Five of these are located on the west elevation and one on the north elevation. These lights will not exceed 25 watts.

The location and style of the proposed landscape light fixtures are depicted on Sheet L-1 of the Project Plans - seven landscape light fixtures are proposed - three of these are on the west side of the residence and four on the north side of the property. One style of landscape lighting is proposed. Landscape lighting would be provided by light fixtures not to exceed 18-inch in height with light downward cast and with shielding. The landscape lights have an output of no more than 15 watts per fixture and are proposed to be placed more than 10 feet apart. Staff supports the proposed landscape lighting and notes that they comply with the City requirements.

Site Coverage: Per Municipal Code Section 17.10.030.C, site coverage shall be limited to a maximum of 22 percent of the base floor area allowed for the site (Note: on a 12,000 square-foot site this equals 792 square feet). In addition, if at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed. For this 12,000 square foot lot the total amount of coverage is allowed to be 1,272 square feet; the project plans are consistent with the allowed coverage.

Grading/Cut and Fill: The proposed partial-basement habitable space will require 55 cubic yards of cut and seven cubic yards of fill to construct. This will translate to approximately seven truck trips to accommodate soils cut (outgoing) and one truck trip for fill (incoming). Other truck trips are associated with construction materials such as lumber but are not counted in this calculation. All haul trips are assessed a fee by the City to offset impacts to City roads.

Public ROW: ROW encroachments occur along Camino Real to include two sets of steps going down to the elevation of the front yard. The applicant is not proposing to change any of the aforementioned encroachments. Nonetheless, an encroachment permit will be required to be filled out and submitted by the applicant.

Alternatives: Staff has included draft findings that the Commission can adopt if the Commission accepts the overall design concept. However, if the Commission does not support the design, then the Commission could continue the application with specific direction given to the applicant.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 965-square foot addition to an existing 2,521-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Project Plans

Attachment A – Site Photographs

West Elevation



West elevation



North side yard



Attachment B – Findings for Approval

DS 16-051(Taylor)
 June 8, 2016
 Findings for Approval
 Page 1

FINDINGS REQUIRED FOR FINAL DESIGN STUDY APPROVAL (CMC 17.64.080 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	

8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Conditions of Approval

DS 16-051 (Taylor)
 June 8, 2016
 Conditions of Approval
 Page 1

Conditions of Approval		
No.	Standard Conditions	
1.	Authorization: This approval of Design Study (DS 16-051) authorizes the addition of 965-square feet to the existing residence. The project consists of the following components: (1) the addition of a single-story family room and fireplace on the north elevation, (2) a small extension of a deck built in 2004 at the north and west elevations of the property, (3) the addition of a small bathroom at the north end of the upper-story, (4) the creation of a new, lower-level addition that will be partially underground as seen on the south and west elevations and will contain two bedrooms, a bathroom and steps connecting to the main level, (5) construction of a deck off the living room that is functionally a roof for the new bedroom spaces below, (6) and removal and reconfiguration of site coverage (decks, steps, patios, walkways), and (7) 55 cubic yards of cut and seven cubic yards of fill.	✓
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	✓
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be	✓

	protected during construction by methods approved by the City Forester.	
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	✓
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	✓
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	✓
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	✓
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	N/A

12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden mullions. Any window pane dividers, which are snap-in, or otherwise superficially applied, are not permitted.	✓
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	N/A
15.	This project is subject to a volume study.	✓
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	✓
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of	N/A

	archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	✓
21.	All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	✓
Special Conditions		
22.	Plant two upper and one lower canopy tree.	✓
23.	Remove all ivy from the property and public right-of-way.	✓
24.	An encroachment permit will be required to be submitted by the applicant before or concurrent to submittal of building permits.	✓
25.	Measured drawings and photo-documentation of the existing elevations shall be prepared and submitted to the City to include in the historical record.	✓
26	Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.	✓

*Acknowledgement and acceptance of conditions of approval.

 Property Owner Signature

 Printed Name

 Date

Once signed, please return to the Community Planning and Building Department.

TAYLOR RESIDENCE

ABBREVIATIONS

AB.	ANCHOR BOLT	HDR.	HEADER
ALT.	ALTERNATE	HOR.	HORIZONTAL
APPROX.	APPROXIMATE	INT.	INTERIOR
ARCH.	ARCHITECT	JST.	JOB
BD.	BOARD	MAX.	MAXIMUM
BLDG.	BUILDING	M. B.	MACHINE BOLT
BM.	BEAM	M. I. P.	MALLEABLE IRON WASHER
BTM.	BOTTOM	MIN.	MINIMUM
BTVN.	BETWEEN	N. I. C.	NOT IN CONTRACT
CLR.	CLEAR	N. T. S.	NOT TO SCALE
COL.	COLLUMN	OV.	OVER
CONC.	CONCRETE	O. C.	ON CENTER
CONG. BLK.	CONCRETE BLOCK	O. H.	OVER HANG/OVER HEAD
CONN.	CONNECTION	PL.	PLATE
CONST.	CONSTRUCTION	P. I.	PANEL INDEX
CONT.	CONTIGUOUS	P. T. P.	PRESSURE TREATED P.F.
CTR.	CENTER	PLYND.	PLYWOOD
CTSK.	COUNTERSINK	REINF.	REINFORCING
DBL.	DOUBLE	REGRD.	REQUIRED
D.	DIAMETER	REIN.	REINFORCED
DIA.	DIAMETER	S. B.	SOLID BLOCKING
DRNG.	DRAWING	S. O. S.	SLAB ON GRADE
(E)	EXISTING	SCHED.	SCHEDULE
E. N.	EDGE NAILING	SHT.	SHEET
EA.	EACH	SHTS.	SHEATHING
EQ.	EQUAL	SM.	SIMILAR
EXP.	EXPANSION	SPECS.	SPECIFICATIONS
EXT.	EXTERIOR	SG.	SOULAGE
F.	FINISH FLOOR	STD.	STANDARD
F. S.	FINISH GRADE	SYM.	SYMMETRICAL
F. N.	FIELD NAILING	T. & G.	TONGUE & GROOVE
FNDR.	FOUNDATION	T. N.	TOE NAIL
FLR.	FLOOR	T. O. C.	TOP OF CONCRETE
F. O. C.	FACE OF CONCRETE	T. O. P.	TOP OF WALL
F. O. S.	FACE OF MASONRY	T. S.	TRUSS STEEL
FTG.	FOOTING	TYP.	TYPICAL
GA.	GAGES	U. O. N.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	VERT.	VERTICAL
G. I.	GALVANIZED IRON	V.	VERTICAL
GLUE LAM.	GLUE LAMINATED	W/O.	WITHOUT
GYPS.	GYPSUM BOARD	W. M.	WELDED WIRE MESH

OWNERSHIP NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
- TITLE AND ALL COPYRIGHT PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN LIETZKE ARCHITECTURE HERINAFTER REFERRED TO AS "DESIGNERS" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
 - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
 - THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WRITTEN OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
 - IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNERS FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

PLUMBING & ELECTRICAL NOTES

- FOR ALL NEW PLUMBING AND ELECTRICAL ITEMS:
- SEE ELECTRICAL AND PLUMBING NOTES FOR FLOW RATE AND FLUSH CAPACITY REQUIREMENTS OF PLUMBING FIXTURES.
 - SHOW ALL NEW CIRCUITS TO ELECTRICAL PANEL.
 - ALL KITCHEN AND BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
 - ALL BEDROOM ELECTRICAL OUTLETS SHALL HAVE AFCI PROTECTION.
 - ALL ELECTRICAL ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED.
 - PROVIDE TWO SMALL-APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS.
 - PROVIDE SEPARATE BRANCH CIRCUITS AT EACH BEDROOM WITH THE REQUIRED ARC-FAULT CIRCUIT INTERRUPTER.
 - PROVIDE HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH BEDROOM, HALLWAY & WHERE INDICATED.
 - SMOKE DETECTORS SHALL BE INTER-CONNECTED TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS.
 - USE WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE, SHOWER AND BNS.
 - INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY.
 - UNDERGROUND ALL PLUMBING AND POWER LINES TO THE (N) RESIDENCE. ANY EXTERIOR LIGHTING SHALL BE BURIED IN CONDUIT AND INSTALLED PER CURRENT ELECTRICAL CODE REQUIREMENTS.

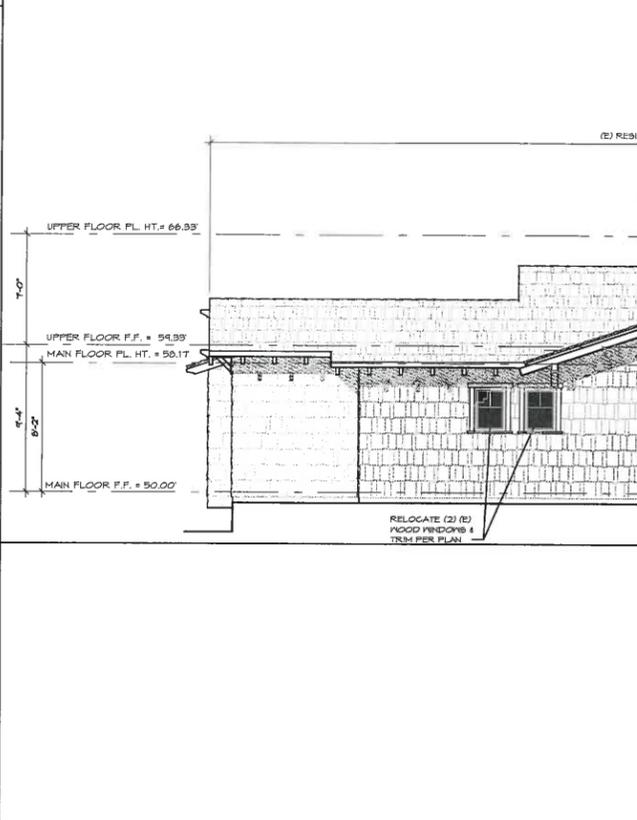
GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE REASONABLE CARE AND COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS AND PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THE DESIGNERS SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION THE IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, REGULATIONS AND OTHER LAWS, ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (CDDP 6.0.2)
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ACHIEVE TO ALL FEDERAL, LOCAL, STATE & OSHA SAFETY REGULATIONS.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LINES SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNERS FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS / DAMAGES / LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSS, WINDOW & DOORS, FINISH CARPENTRY. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER AND/OR ARCHITECT THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL, AND BINDING.
- CONSTRUCTION BRACINGS & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACINGS AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THE REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

SPECIAL INSPECTIONS

SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT.
CONTRACTOR SHALL COORDINATE FORMS AND PROCEDURES WITH THE BUILDING DEPARTMENT

VICINITY MAP



PROJECT DATA

SCOPE OF WORK: 929 SQ. FT. ADDITION TO AN (E) TWO STORY SINGLE FAMILY RESIDENCE. 4 TR SQ. FT. ADDITION TO (E) DECK. GRADING WILL INCLUDE 55 C.Y. OF CUT AND 1 C.Y. OF FILL. SITE DESCRIPTION: LOTS 13 & 9 IN BLOCK 65, ADDITION NO. 3, CARMEL BY THE SEA VOLUME 2. LOT SIZE: 12,000 S.F.
TREE INFORMATION: NO EXISTING TREES TO BE REMOVED
OCCUPANCY GROUP: RESIDENCE: R-3 GARAGE: U
TYPE OF CONSTRUCTION: V-B

HOUSE SETBACKS
REQUIRED FRONT SETBACK = 15'-0"
PROPOSED FRONT SETBACK = 20'-2" (NO CHANGE)
REQUIRED SIDE SETBACKS = TOTAL OF 25% OF SITE WIDTH = 25'-0"
PROPOSED SIDE SETBACKS = 30'-10" + 24'-11.5" = 60'-4.5" (EXISTING - NO CHANGE)
REQUIRED REAR SETBACK = 15'-0"
PROPOSED REAR SETBACK = 14'-0"

GARAGE SETBACKS
NO CHANGE

NOTES

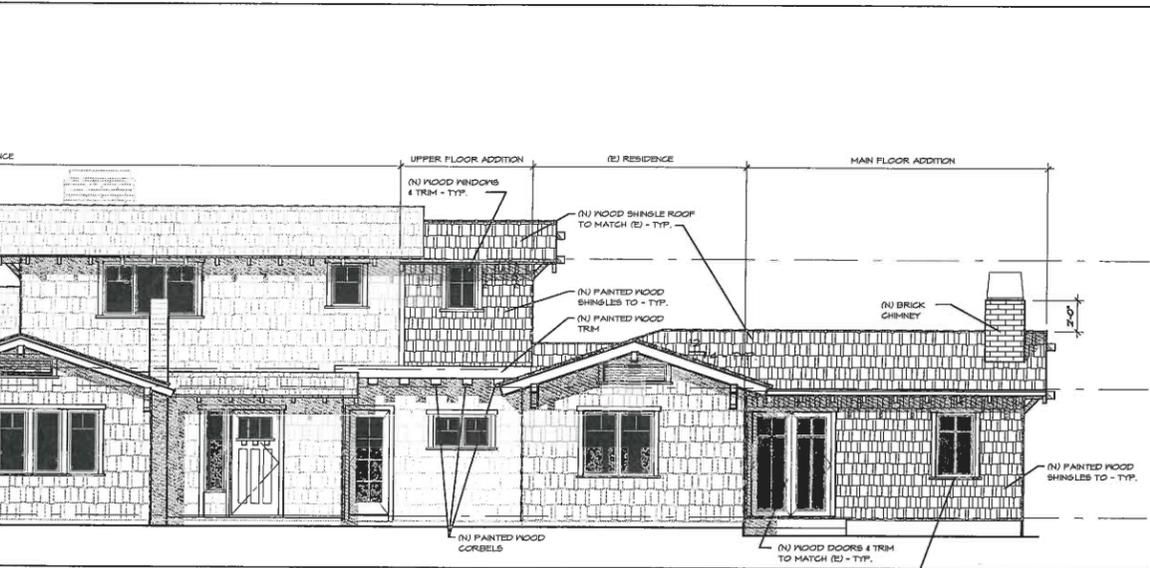
- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2013 EDITION OF THE CALIFORNIA BUILDING, CALGREEN, ENERGY, PLUMBING & MECHANICAL CODES, 2014 NEC, NFPA FIRE CODE AND ANY AMENDMENTS OF PRESIDIOS CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2,500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A105-74.
- LUMBER SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE PUBLIC, R.A. & A.P.A. PLYWOOD SHALL BE D.F. CONFORMING TO U.S. PRODUCT STANDARDS PS-174 WITH EXTERIOR GLUE, GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- WALL CONSTRUCTION SHALL COMPLY WITH CBC SECTION R602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILING TO BE IN COMPLIANCE WITH CBC TABLE R602.3.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE CITY OR CARMEL WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.

FIRE SAFETY REQUIREMENTS

- DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES (OR THE PROPERTY LINE). LIMB TREES 6 FEET UP FROM GROUND, REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS.
- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE BUILDINGS AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.
- SMOKE ALARMS - (SINGLE FAMILY DWELLINGS) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGULAR ALARM SYSTEM IS INSTALLED IN LEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UFG THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDS EQUIPMENT.
- ROOF CONSTRUCTION - ICBO CLASS 'A' ROOF ASSEMBLY CONSTRUCTION.

SURVEY NOTE

A LETTER FROM THE SURVEYOR THAT THE ROOF HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION PRIOR TO ROOF SHEATHING INSPECTION.



SHEET INDEX

ARCHITECTURAL	TOPOGRAPHIC MAP
A1.0 COVER SHEET, PROJECT DATA	1 of 1
A1.1 EXISTING/DEMO SITE PLAN	
A1.2 SITE / DRAINAGE PLAN	
A2.0 EXISTING FLOOR PLANS	
A2.1 PROPOSED MAIN FLOOR PLAN	
A2.2 PROPOSED UPPER FLOOR/MAIN ROOF PLAN	
A2.3 PROPOSED LOWER FLOOR PLAN	
A3.0 EXISTING EXTERIOR ELEVATIONS	
A3.1 EXISTING EXTERIOR ELEVATIONS	
A3.0 PROPOSED EXTERIOR ELEVATIONS	
A3.1 PROPOSED EXTERIOR ELEVATIONS	
A4.1 WINDOW AND DOOR SCHEDULES	

LANDSCAPE

L-1 HARDSCAPE/LIGHTING/DRAINAGE PLAN/DETAILS & STREET SCAPE

FLOOR AREA

BUILDINGS	EXISTING	PROPOSED
MAIN FLOOR	1,764 SQ. FT.	1,764 SQ. FT.
ADDITION:	--	310 SQ. FT.
UPPER FLOOR	342 SQ. FT.	342 SQ. FT.
ADDITION:	--	84 SQ. FT.
LOWER FLOOR	--	571 SQ. FT.
GARAGE	360 SQ. FT.	360 SQ. FT. (NO WORK)
TOTAL FLOOR AREA	2,521 SQ. FT.	3,486 SQ. FT.
TOTAL ALLOWABLE FLOOR AREA = 3,600 SQ. FT.		

SITE COVERAGE

	EXISTING	PROPOSED
ENTRY PORCH, STEPS & WALK	432 SQ. FT.	400 SQ. FT.
BRICK PATIO & WALK	394 SQ. FT.	337 SQ. FT.
DECK	557 SQ. FT.	471 SQ. FT.
LOWER FLOOR ENTRY LANDING	--	30 SQ. FT.
EXTERIOR STEPS TO LOWER FLR.	--	26 SQ. FT.
SITE COVERAGE TOTAL	1,880 SQ. FT.	1,272 SQ. FT.
TOTAL ALLOWABLE IMPERMEABLE SITE COVERAGE = 1,272 SQ. FT.		

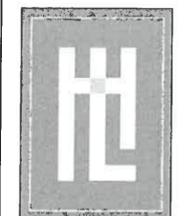
PROJECT TEAM

OWNER:
BRUCE CHURCH AND LINDA R. TAYLOR
13960 CASTLEROCK ROAD
SALINAS, CA 93408
PH: 831-424-0498

SITE ADDRESS:
NW CORNER OF CAMINO REAL & OCEAN
CARMEL-BY-THE-SEA, CA 93421

ARCHITECT:
HOLDREN LIETZKE ARCHITECTURE
225 CANNERY ROW, SUITE A
MONTEREY, CA 93940
PH: 831-649-6001

SURVEYOR:
CENTRAL COAST SURVEYORS
5 HARRIS CT, SUITE N-11
MONTEREY, CA 93940
PH: 831-394-4930



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-art.com

DATE:	02/5/16
SCALE:	
DRAWN:	SGC
JOB NUMBER:	14.04
REVISION	
PLANNING COMMENTS	03/14/16

COVER SHEET, PROJECT DATA

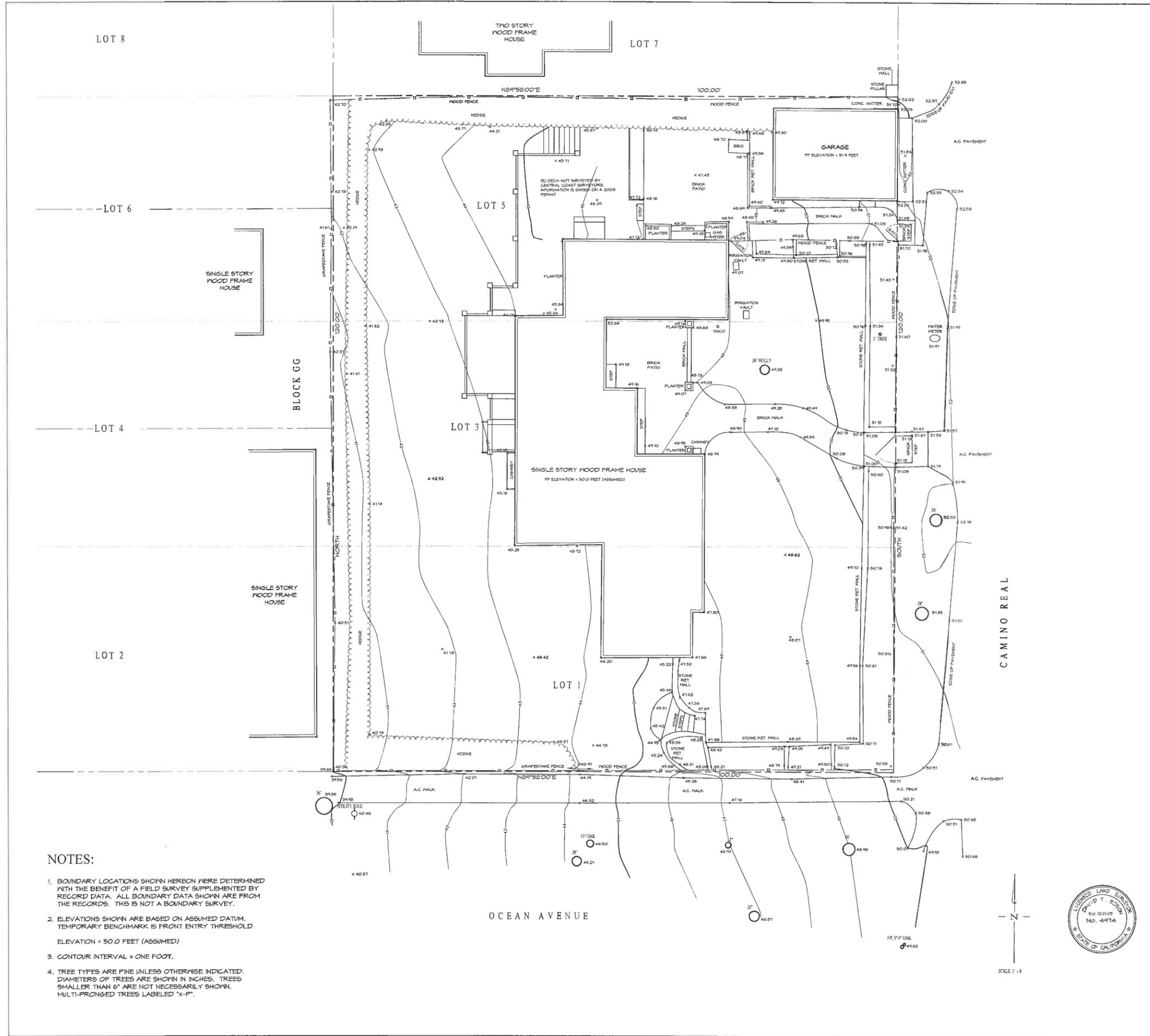
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

REVISION
MAR 17 2016

City of Carmel-by-the-Sea
Planning & Building Dept.

A1.0



NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FRONT ENTRY THRESHOLD.
ELEVATION = 50.0 FEET (ASSUMED)
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE PINE UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "X-P".

TOPOGRAPHIC MAP
OF
LOTS 1, 3 & 5 IN BLOCK 66
ADDITION NO. 3, CARMEL-BY-THE-SEA
VOLUME 2, "CITIES AND TOWNS", PAGE 5
RECORDS OF MONTEREY COUNTY

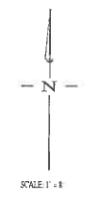
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Holdren Lietzke Design

BY
CENTRAL COAST SURVEYORS
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
Phone: (831) 394-4930
Fax: (831) 394-4931

SCALE: 1" = 8' JOB No. 04-119 AUGUST 2004
PREPARED BY: WDM

APN 010-252-011





HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 03/11/16

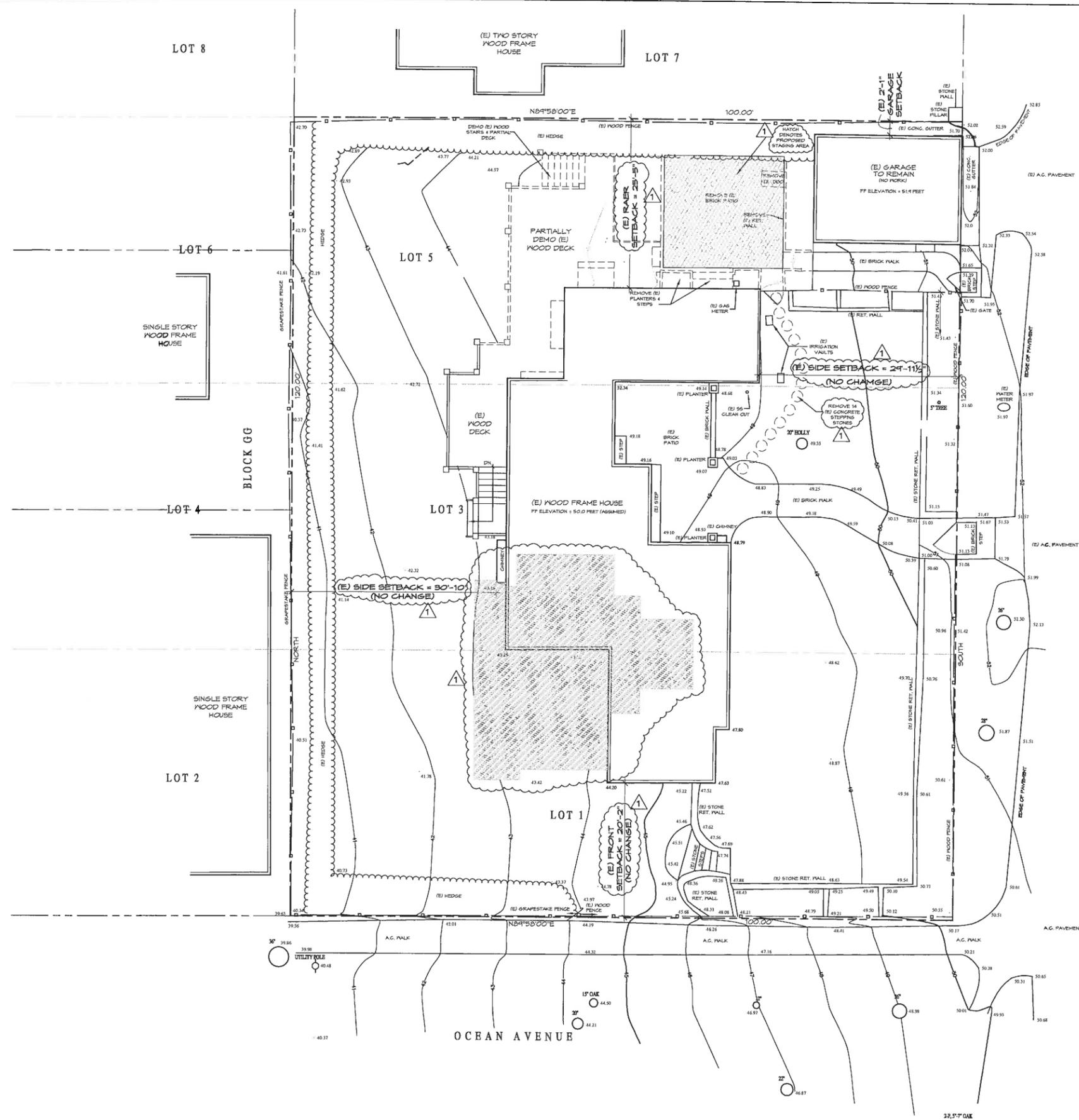
SCALE: 1/8" = 1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

PLANNING COMMENTS
03/14/16



EXISTING/DEMO SITE PLAN

SCALE: 1/8" = 1'-0"

LEGEND	
	(E) BUILDING TO REMAIN
	AREA OF CUT
	(E) CONSTRUCTION TO BE REMOVED
NOTES	
1.	PERCENTAGE OF EXTERIOR WALL TO BE TAKEN DOWN OR COVERED = 7.4%
2.	NO GRADING IS PROPOSED OFF SITE IN THE PUBLIC RIGHT OF WAY.
3.	NO CUT/FILL AREAS AROUND THE PROPERTY'S EXISTING TREES

EXISTING/DEMO SITE PLAN
TAYLOR RESIDENCE REMODEL
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

A4.1



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940

Ph: 831.649.6001

Fax: 831.649.6003

www.hl-arc.com

DATE: 02/05/16

SCALE: 1/8" = 1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

1 PLANNING COMMENTS

03/14/16

SURVEY NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FRONT ENTRY THRESHOLD.
- ELEVATION = 50.0 FEET (ASSUMED)
- CONTOUR INTERVAL = ONE FOOT.

TREE TYPES ARE PINE UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "X-P".

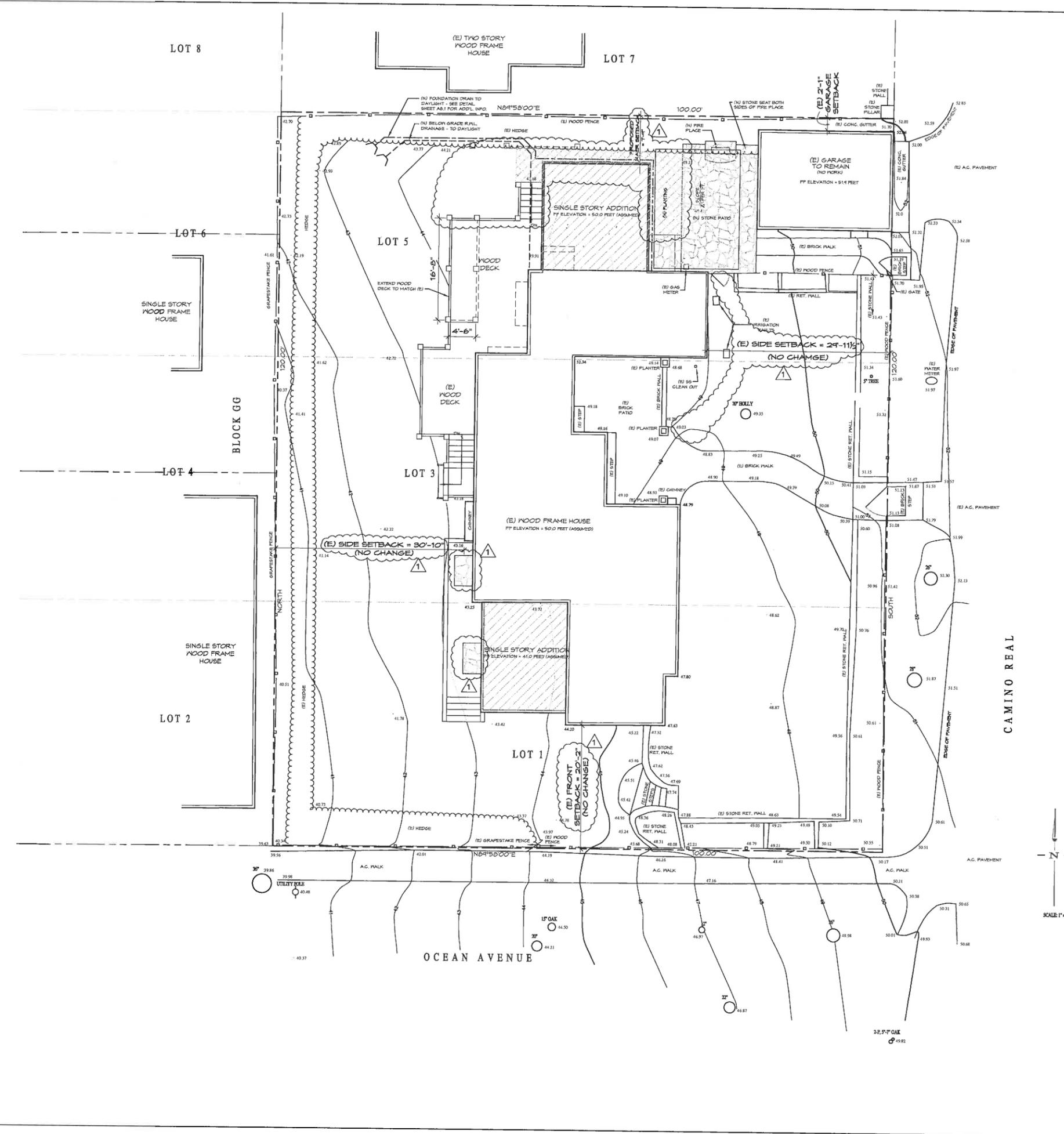
PROPOSED SITE/DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- (E) BUILDING TO REMAIN
- AREA OF (N) ADDITION
- AREA OF FILL
- (E) CONSTRUCTION TO BE REMOVED

NOTES

- PERCENTAGE OF EXTERIOR WALL TO BE TAKEN DOWN OR COVERED = 7.4%
- NO GRADING IS PROPOSED OFF SITE IN THE PUBLIC RIGHT OF WAY.
- NO CUT/FILL AREAS AROUND THE PROPERTY'S EXISTING TREES



SITE / DRAINAGE PLAN
TAYLOR RESIDENCE REMODEL
 NW CORNER OF CAMINO REAL AND OCEAN
 CARMEL, CA 93921
 A.P.N. 010-252-011

A1.2



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

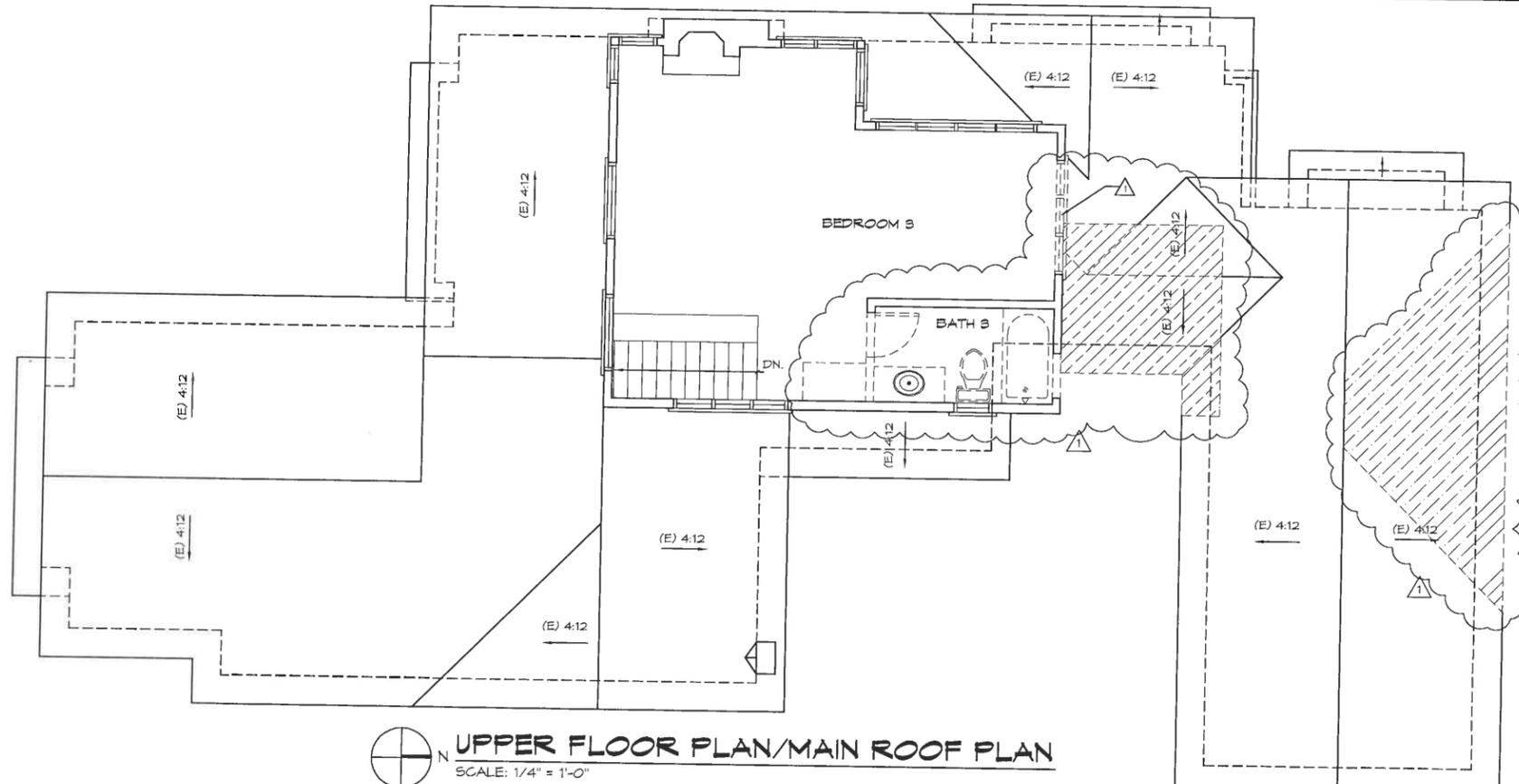
PLANNING COMMENTS
03/14/16

KEY NOTES

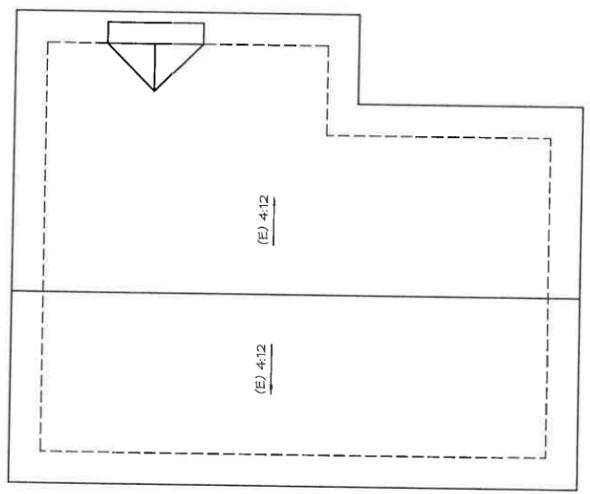
- ▲ REMOVE EXISTING WINDOW WITH CARE AND PERMANENTLY STORE ON SITE PROTECTED FROM THE ELEMENTS.
- ▲ REMOVE EXISTING WINDOW WITH CARE AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN
- ▲ REMOVE LAV WITH CAR AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN

LEGEND

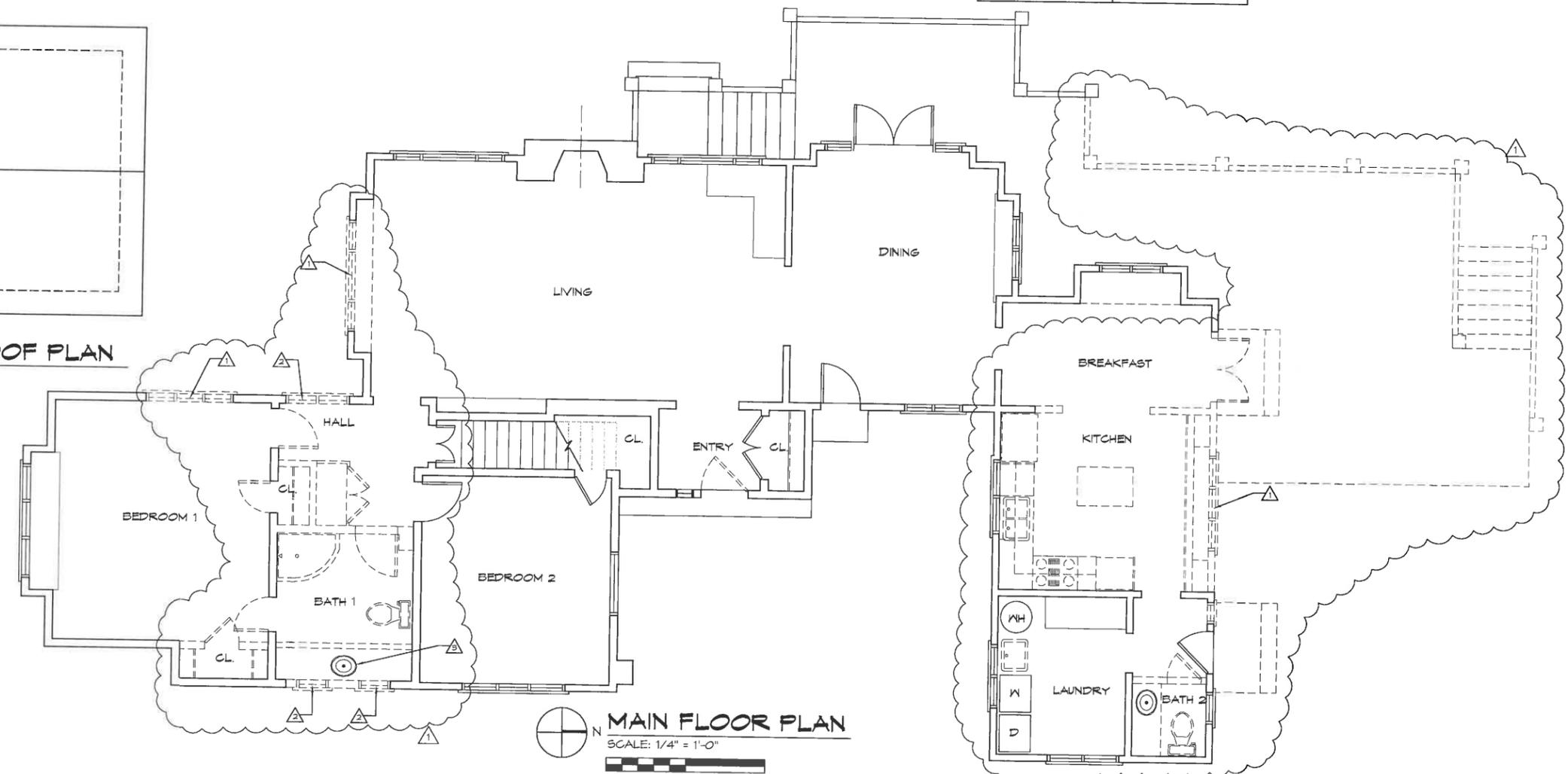
- (E) WALL TO REMAIN
- - - - (E) CONSTRUCTION TO BE REMOVED
- ▨ (E) ROOF TO MATERIAL TO BE REMOVED TO PLYWOOD TO ALLOW FOR NEW ROOF
- ▩ (E) ROOF TO BE REMOVED TO ALLOW FOR NEW UPPER FLOOR ADDITION
- ▧ (E) ROOF RAFTER TAILS TO BE REMOVED TO ALLOW FOR NEW MAIN FLOOR ADDITION



UPPER FLOOR PLAN/MAIN ROOF PLAN
SCALE: 1/4" = 1'-0"



UPPER FLOOR ROOF PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 5 10

EXISTING FLOOR & ROOF PLANS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

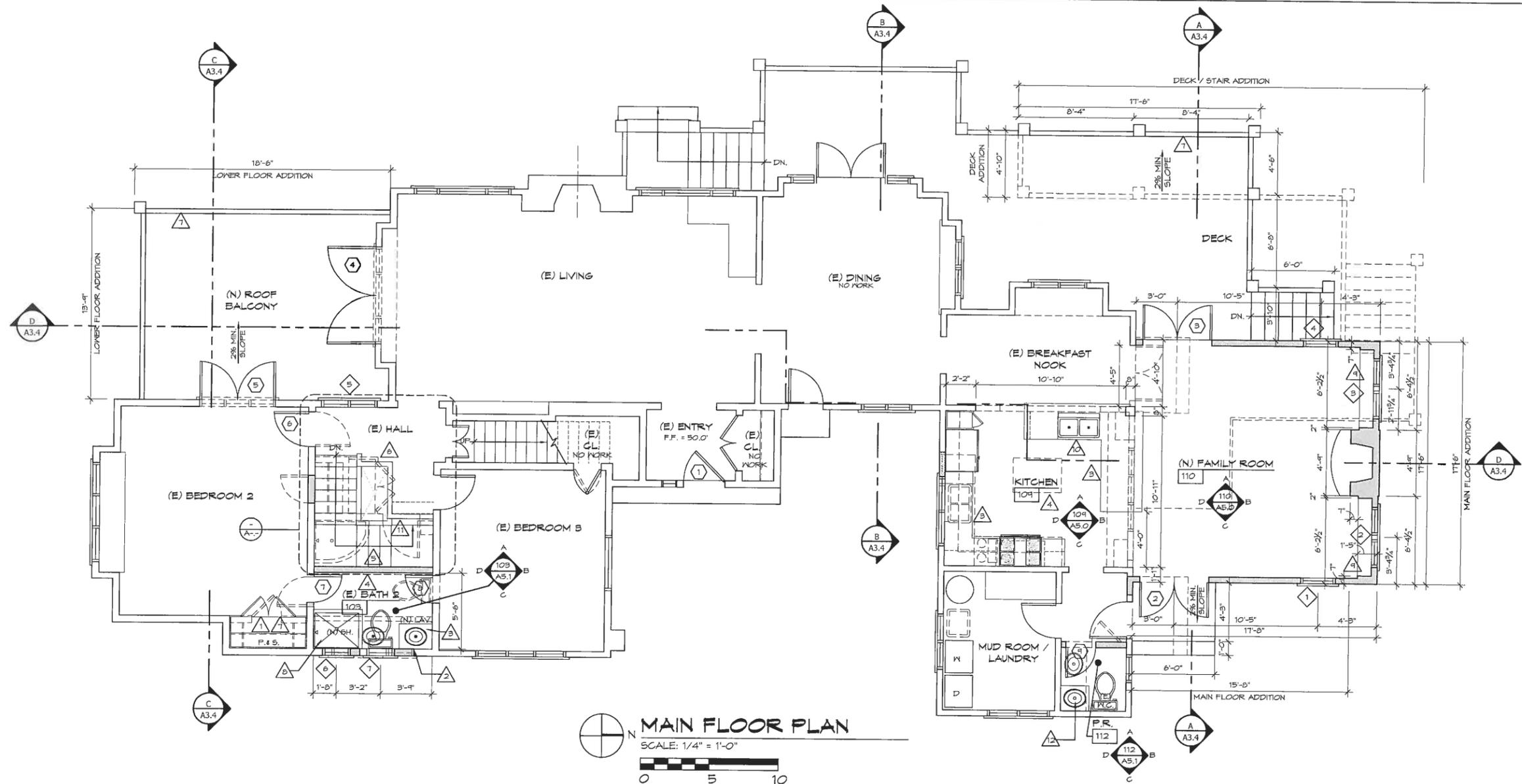
A2.0



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
PH: 831.649.6001
FAX: 831.649.6003
WWW.HL-ARC.COM

DATE: 02/05/16
SCALE: 1/4" = 1'-0"
DRAWN: SGC
JOB NUMBER: 14.04
REVISION



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 5 10

- NOTES:**
- SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
 - SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION, SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
 - VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

KEYNOTES

- CLOSET - SYSTEM BY OTHERS
- MEDICINE CHEST W/ PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 36" HIGH CABINET W/ WATERPROOF COUNTERTOP - UPFERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- PROVIDE BLK'G FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET AT.1 FOR ADDITIONAL INFORMATION.
- 1/2" Ø POLE MTD. @ 60" A.F.F. W/ PAINTED WOOD 1X12 SHELF ABOVE.
- TILE SHOWER/TUB TO 70" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
- WOOD SHELVES - SEE INT. ELEVS. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
- PROVIDE 3/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
- RELOCATE (E) LAV
- MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION

LEGEND

- (E) WALL TO REMAIN
- (N) 2X STUDS @ 16" O.C. W/ 5/8" G.I.B. - SEE STRUCT. - TAPE TEXTURE & PAINT TO MATCH (E)
- (E) CONSTRUCTION TO BE REMOVED



PROPOSED MAIN FLOOR PLAN

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

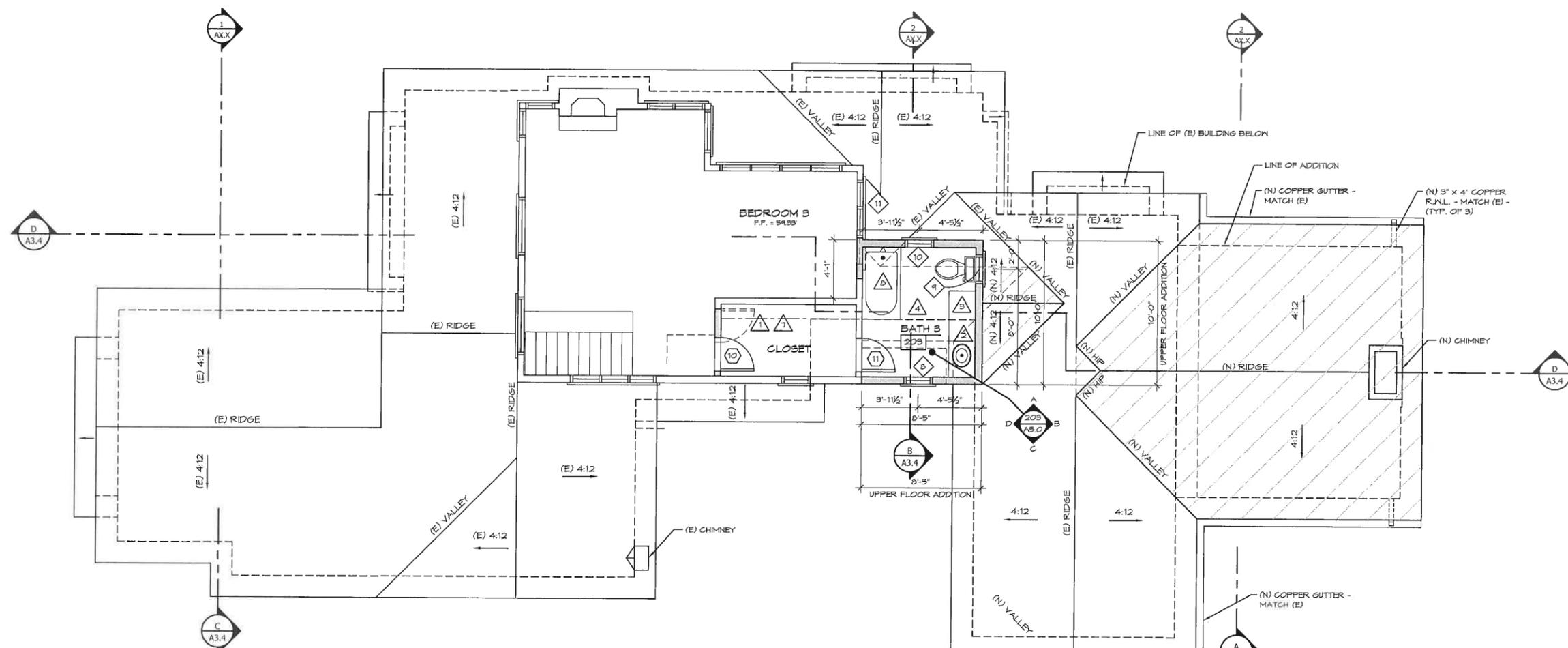
DATE: 02/05/16

SCALE: 1/4" = 1'-0"

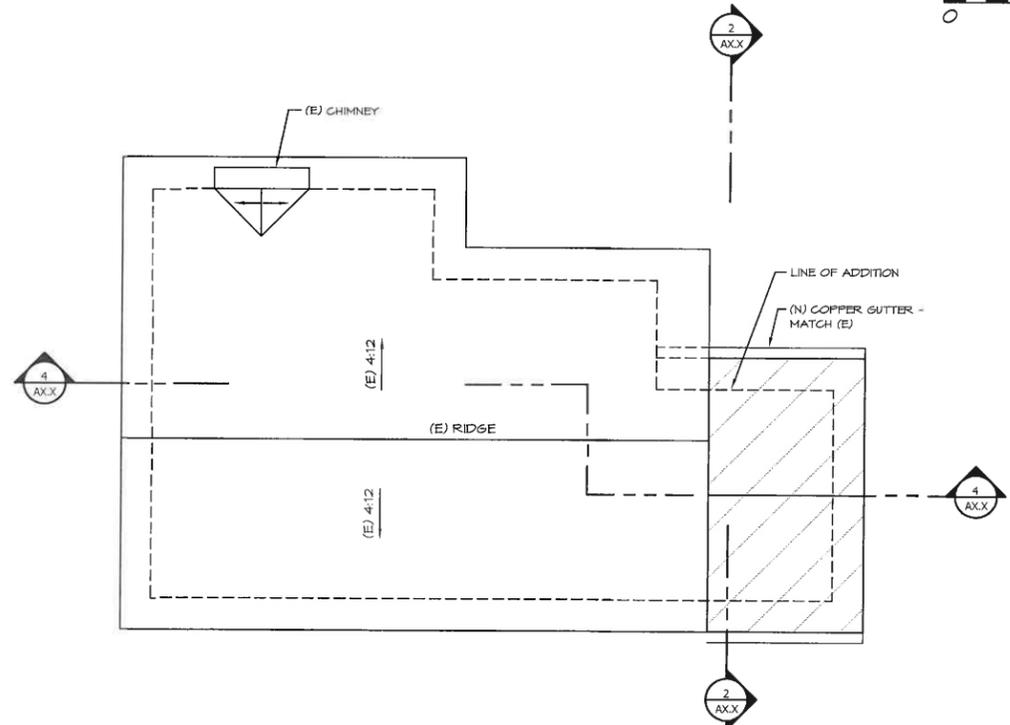
DRAWN: SSC

JOB NUMBER: 14.04

REVISION



UPPER FLOOR / MAIN ROOF PLAN
SCALE: 1/4" = 1'-0"

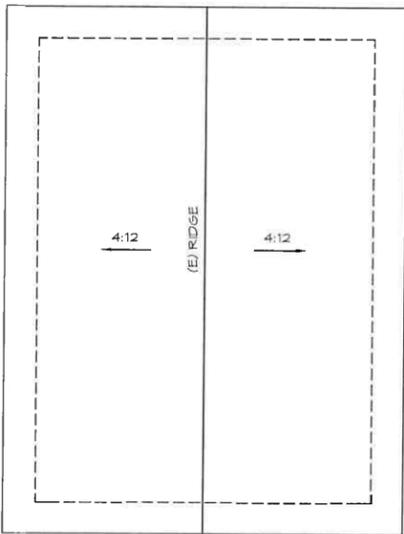


UPPER ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTES:
1. SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
2. SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDGS. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
3. VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

KEYNOTES

- 1 CLOSET - SYSTEM BY OTHERS
- 2 MEDICINE CHEST IV PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 3 36" HIGH CABINET IV WATERPROOF COUNTERTOP - UPERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- 4 PROVIDE BLK'G FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 5 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 6 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
- 7 1/2" Ø POLE MTD. @ 60" A.F.F. IV PAINTED WOOD 1X12 SHELF ABOVE.
- 8 TILE SHOWER/TUB TO 10" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
- 9 WOOD SHELVES - SEE INT. ELEV'S. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- 10 VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
- 11 PROVIDE 3/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
- 12 RELOCATE (E) LAV
- 13 MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION



LEGEND

	(E) WALL TO REMAIN
	(N) 2X6 STUDS @ 16" O.C. U.O.C. 1/4" TYPE 'X' G.I.B. - TAPE TEXTURE & PAINT TO MATCH (E)
	LOCATION OF (N) ROOF - MATERIALS AND SLOPE TO MATCH (E) ROOF

PROPOSED UPPER FLOOR/MAIN ROOF PLAN

TAYLOR RESIDENCE REMODEL

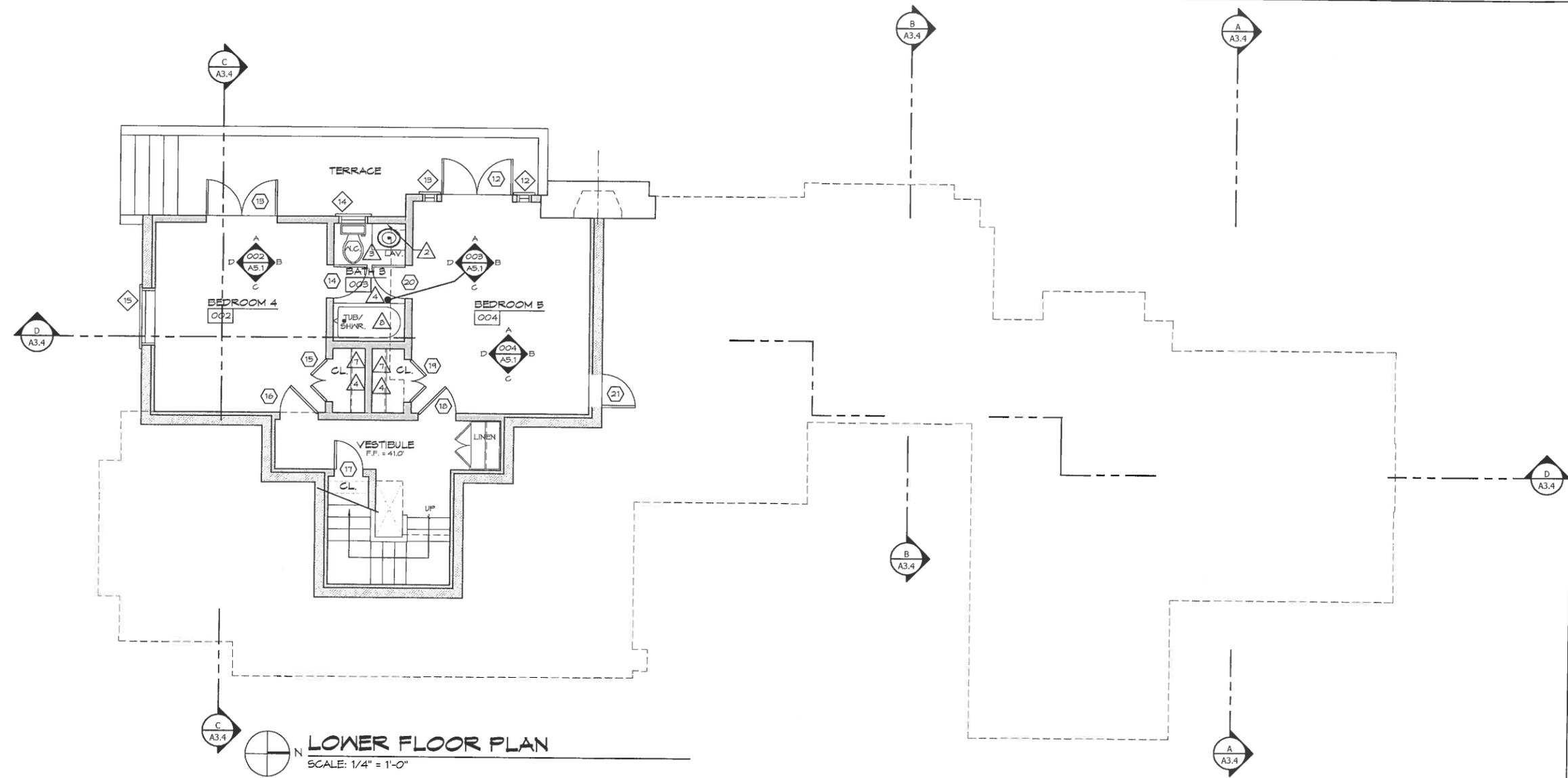
NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
PH: 831.649.6001
FAX: 831.649.6003
www.hl-ar.com

DATE: 02/05/16
SCALE: 1/4" = 1'-0"
DRAWN: SGC
JOB NUMBER: 14.04
REVISION



LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEGEND	
	(N) 2X6 STUDS @ 16" O.C. U.O.N. W/3/4" TYPE 'X' G.W.B. - TAPE TEXTURE & PAINT TO MATCH (E)
	(N) CONCRETE OR CMU RETAINING WALL

- NOTES:**
- SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
 - SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
 - VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

- KEYNOTES**
- CLOSET - SYSTEM BY OTHERS
 - MEDICINE CHEST IV PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
 - 36" HIGH CABINET IV WATERPROOF COUNTERTOP - UPFERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER
 - PROVIDE BLK'S FOR WALL MOUNTED ACCESSORIES AS REQ'D.
 - 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
 - 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET A7.1 FOR ADDITIONAL INFORMATION.
 - 1 1/2" Ø POLE MTD. @ 60" A.F.F. IV PAINTED WOOD 1X12 SHELF ABOVE.
 - TILE SHOWER/TUB TO 10" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
 - WOOD SHELVES - SEE INT. ELEV'S. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
 - VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
 - PROVIDE 3/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
 - RELOCATE (E) LAV
 - MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION

PROPOSED LOWER FLOOR PLAN
TAYLOR RESIDENCE REMODEL
 NW CORNER OF CANNERY ROW AND OCEAN
 CARMEL, CA 93921
 A.P.N. 010-252-011



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921

A.P.N. 010-252-011

A3.0



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940

Ph: 831.649.6001

Fax: 831.649.6003

www.hl-arc.com

DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921

A.P.N. 010-252-011

A3.1



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 02/05/16

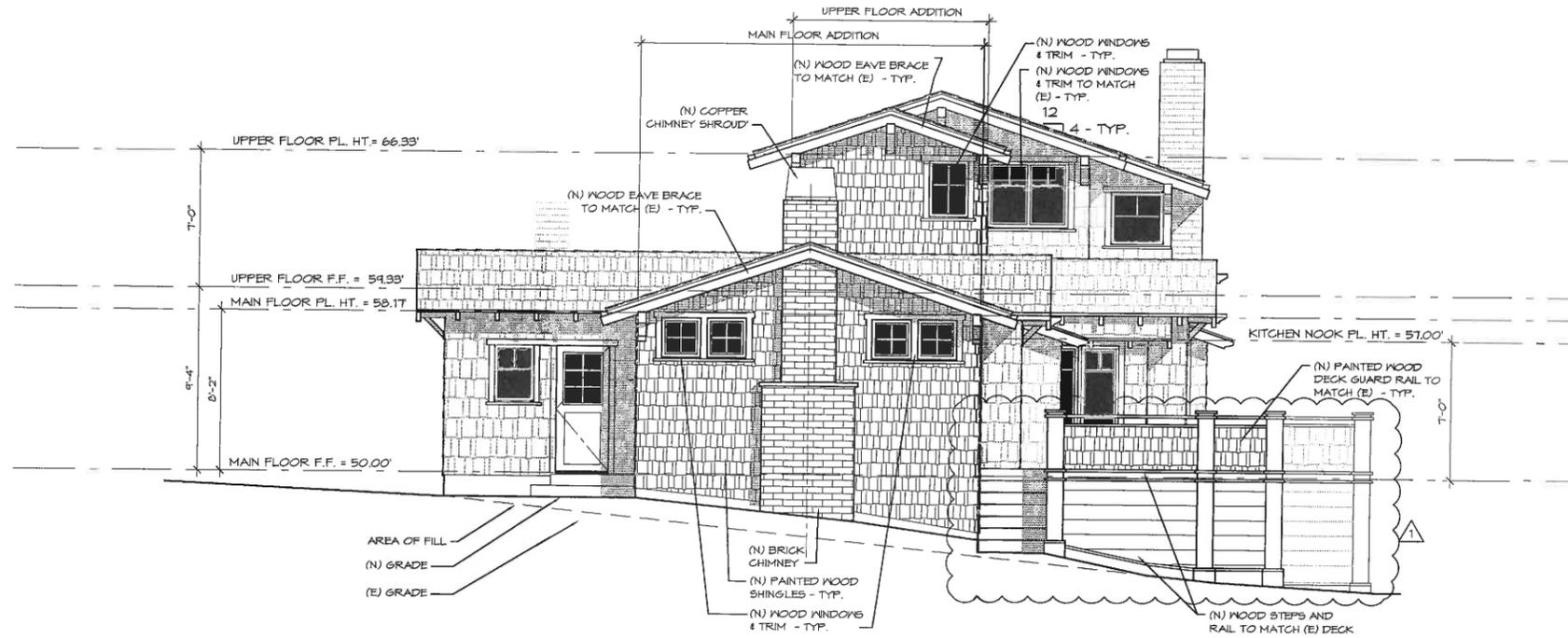
SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

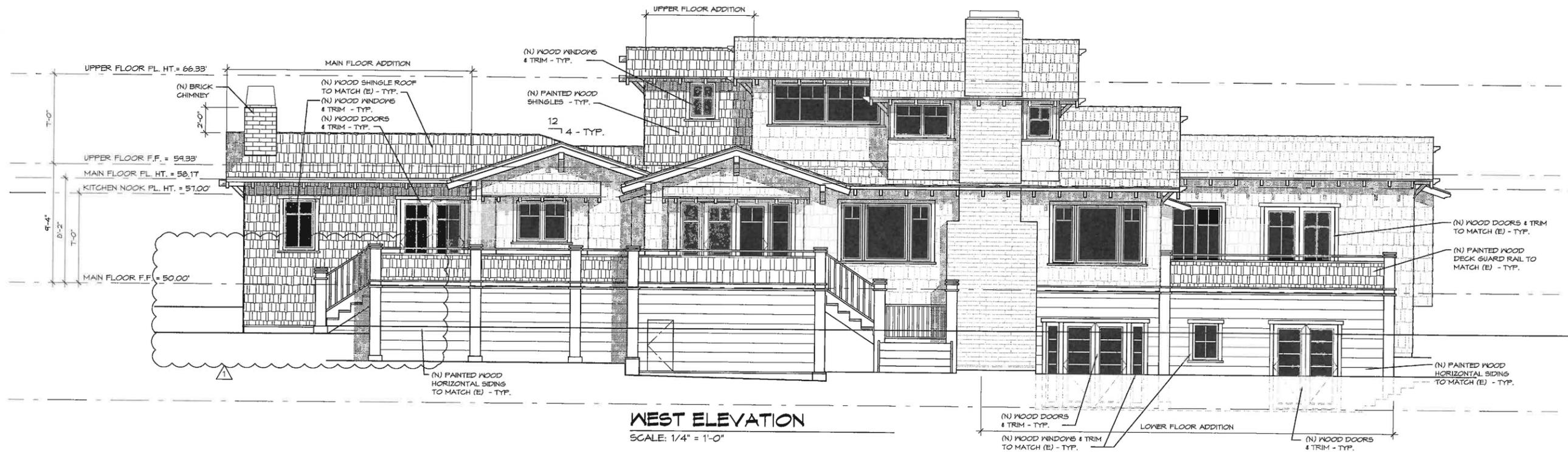
REVISION

1 PLANNING COMMENTS
03/14/16



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

A&2



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

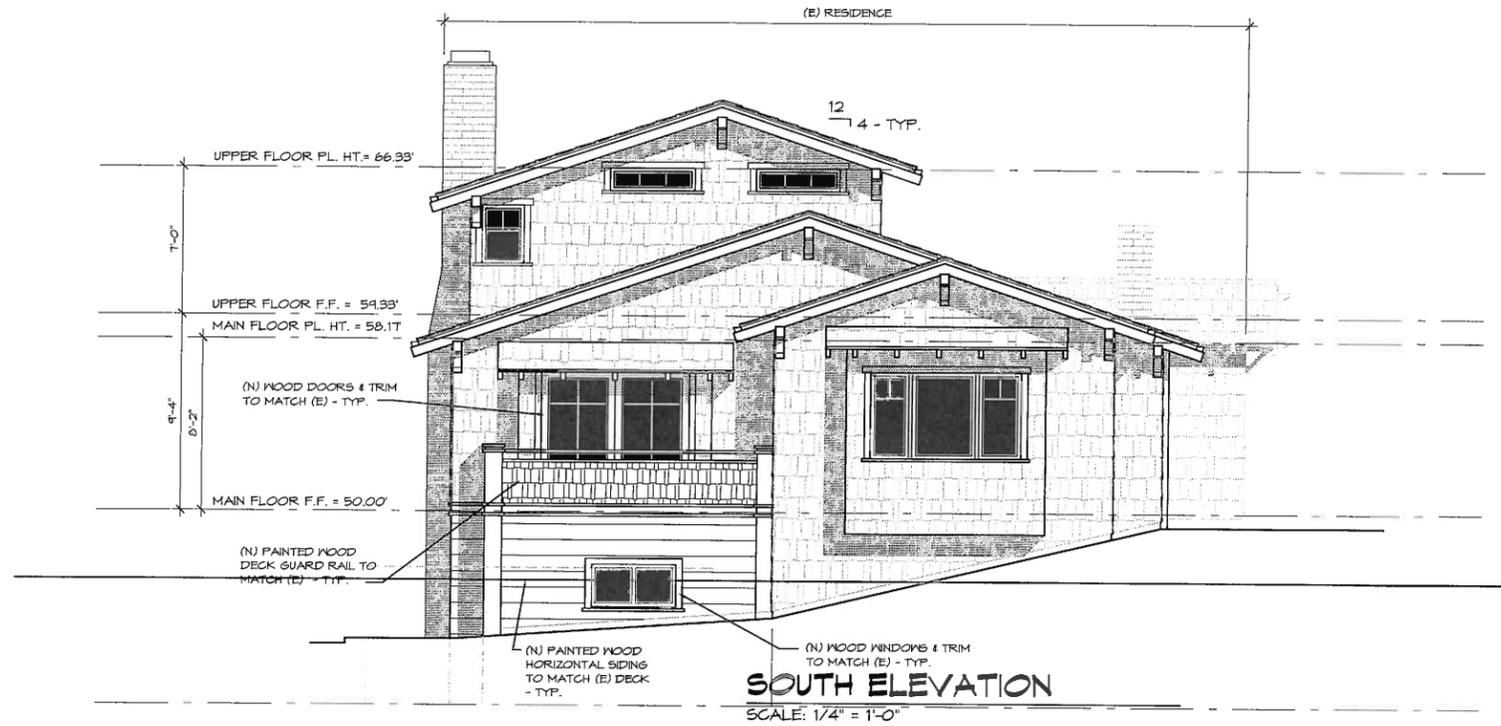
DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION



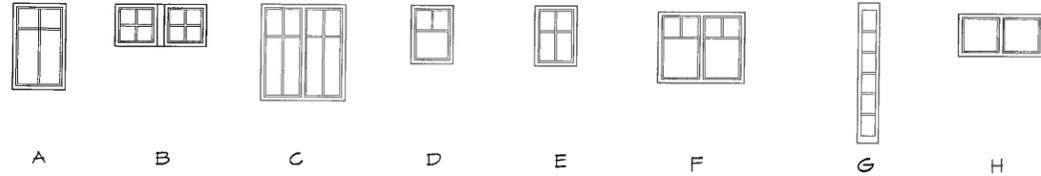
PROPOSED ELEVATIONS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921
A.P.N. 010-252-011

A&J.3

WINDOW TYPES WOOD WINDOWS (U.N.O.)



WINDOW NOTES

GENERAL GLAZING NOTES:

WINDOWS: WOOD

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS. EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
 - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN OUTLET.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- VERIFY SWING HAND OF OPERABLE WINDOWS. SEE A3.1 & A3.2 BUILDING ELEVATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20", NET CLEAR OPENING HEIGHT OF 2'-11".
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- VERIFY DIVIDED LIGHT CONFIGURATION FOR EACH WINDOW PRIOR TO ORDER. SEE A3.1 & A3.2 BUILDING ELEVATIONS. ALSO, CONTACT THE WINDOW MANUFACTURER SINCE DIVIDED LIGHT CONFIGURATION MAY BE SUBJECT TO FACTORY APPROVAL.
- SEE TYPICAL WINDOW FLASHING REQUIREMENTS BELOW FOR ADDITIONAL INFORMATION.
- ALL WINDOW GLAZING SHALL INCLUDE WATERPROOFING POLYMER ADDITIVE. VERIFY MANUFACTURER WITH OWNER.
- MANUFACTURER TO PROVIDE JAMB AND SILL EXTENSIONS AS REQUIRED. SEE WINDOW DETAILS.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

WINDOW SCHEDULE - WOOD W/TEMPERED GLAZING

NOTE: SEE WINDOW NOTE 4, SHEET A4.2 FOR ADDITIONAL GLAZING INFORMATION

MARK	TYPE	NOMINAL DIMENSIONS		HEAD HEIGHT (ABOVE FIN. FLR.)	FRAME (EXT/INT)	GLAZING	DETAILS (SEE SHEET A4.4 U.O.N.)			REMARKS
		WIDTH	HEIGHT				HEAD	JAMB	SILL	
1	A	CASEMENT	PAIR 3'-0"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
2	B	FIXED	TRIPLE 3'-0"	7'-9"	8'-0"	WOOD	DOUBLE INSULATED			
3	B	FIXED	3'-0"	2'-0"	8'-0"	WOOD	DOUBLE INSULATED			
4	A	CASEMENT	3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			
5	C	CASEMENT	3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			
6	D	CASEMENT	PAIR 3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
7	D	CASEMENT	2'-6"	3'-9"	6'-8"	WOOD	DOUBLE INSULATED			
8	E	CASEMENT	3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			
9	E	CASEMENT	PAIR 3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
10	E	CASEMENT	PAIR 3'-0"	8'-6"	6'-8"	WOOD	DOUBLE INSULATED			
11	F	CASEMENT	2'-7"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
12	G	FIXED	3'-10"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
13	G	FIXED	2'-7"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
14	E	CASEMENT	PAIR 3'-0"	8'-6"	6'-8"	WOOD	DOUBLE INSULATED			
15	H	CASEMENT	3'-6"	5'-0"	6'-8"	WOOD	DOUBLE INSULATED			



HOLDREN+LIETZKE ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 03/16/16

SCALE: 1/4"=1'-0"

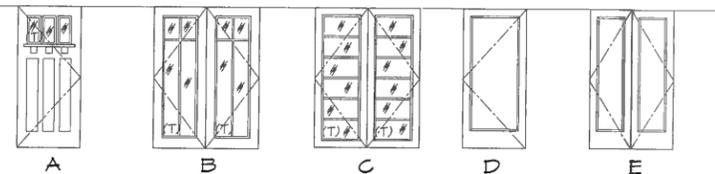
DRAWN: 5GC

JOB NUMBER: 15.06

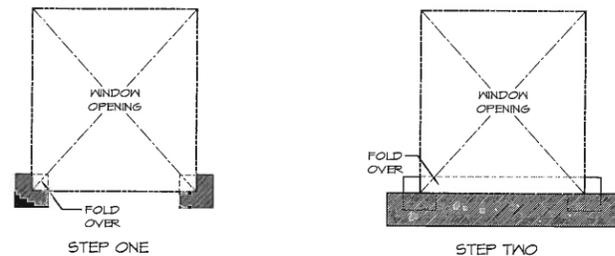
REVISION

DOOR TYPES

HEADER HEIGHT SEE SCHEDULE



TYPICAL WINDOW FLASHING

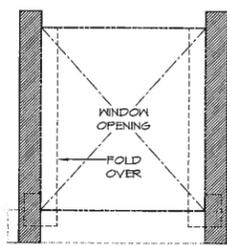


- INSTALL 12" sq. SELF-ADHESIVE MEMBRANE CORNER PATCHES.
- FOLD ENDS IN AT JAMBS.
- ENSURE MEMBRANE EXTENDS TO FULL WALL WIDTH ON EXTERIOR FACE.

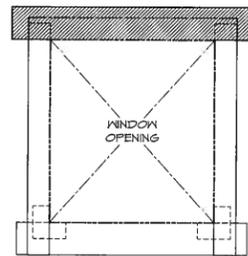
- INSTALL 12" sq. SELF-ADHESIVE MEMBRANE STRIP AT WINDOW SILL.
- LAP SILL MEMBRANE OVER CORNER PATCHES.
- ENSURE MEMBRANE EXTENDS MIN. 6" BEYOND CORNER PATCHES.
- FOLD O/SILL STRIP TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.

GENERAL NOTES:

- ENSURE ALL SURFACES TO RECEIVE MEMBRANE FLASHING ARE CLEAN AND DRY.
- ENSURE MEMBRANE IS WELL SEATED AGAINST EXTERIOR VAPOR BARRIER (HOUSE WRAP) - EXERCISE CARE SO AS TO REDUCE WRINKLES IN APPLIED MEMBRANES.
- AT ALL ALUMINUM WINDOWS OF ANY KIND, NO COPPER SHALL BE PLACED IN DIRECT CONTACT WITH THE WINDOW ELEMENT; ONLY A MIN. 16OZ G.I. FLASHING SHALL BE USED.



- INSTALL 6" WIDE SELF-ADHESIVE MEMBRANE STRIP AT WINDOW JAMBS.
- LAP JAMB MEMBRANE O/SILL MEMBRANE.
- FOLD OVER JAMB STRIPS TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.



- INSTALL WINDOW PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL 16 OUNCE G.I. HEAD FLASHING EXTEND PAST WINDOW OPENING TO EDGE OF JAMB MEMBRANE.
- INSTALL 12" WIDE SELF-ADHESIVE MEMBRANE OVER 16 OZ. G.I. FLASHING, EXTEND 6" PAST JAMB MEMBRANE.

DOOR SCHEDULE

MARK	TYPE	DIMENSIONS			CORE	FINISH	FRAME	HARDWARE	DETAILS (SEE SHEET A4.5 U.O.N.)			REMARKS
		WIDTH	HEIGHT	THK.					HEAD	JAMB	THRESH.	
1	A	EXTERIOR	3'-0"	6'-8"	2-1/4" MIN.	S.C.	STAIN	WOOD	DEADBOLT LOCKSET			
2	B	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
3	B	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
4	B	EXTERIOR	FR. 3'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
5	B	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
6	D	INTERIOR	2'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
7	D	INTERIOR	2'-0"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
8	D	INTERIOR	2'-0"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
9	C	INTERIOR	2'-2"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
10	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
11	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
12	C	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
13	C	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
14	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
15	E	INTERIOR	FR. 1'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
16	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
17	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
18	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
19	E	INTERIOR	FR. 1'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
20	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
21	D	INTERIOR	2'-4"	4'-6"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			SELF CLOSING, TIGHT FITTING 1-3/8" THICK MIN. SOLID WOOD OR 20-MINUTE RATED FIRE ASSEMBLY

DOOR NOTES

HARDWARE NOTES

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:

- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE 4" X 4" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE FINISH PER OWNER.
- ALL FIRE RATED DOORS SHALL HAVE PENKO 888D (OR EQUAL) SMOKE SEALS.

DOOR NOTES

1. SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR OPERATION

- ALL DOOR GLAZING TO BE TEMPERED:
 - S.C. = STAIN GRADE
 - P.G. = PAINT GRADE
- TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

WINDOW & DOOR SCHEDULE

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN
CARMEL, CA 93921

A.P.N. 010-252-011

A4.1



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 8, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Interim Community Planning & Building Director

Submitted by: Ashley Hobson, Contract Planner

Subject: Consideration of a Concept Design Study (DS 16-177) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District.

Recommendation:

Continue the Concept Design Study (DS 16-177) with a recommendation for changes.

Application:	DS 16-177	APN:	010-279-016
Block:	X	Lot:	2
Location:	SE Corner of San Antonio and 11th		
Applicant:	Mark Thompson Design	Property Owner:	M&C Kronenberger

Background and Project Description:

The project site consists of a single-family dwelling on a 4,000-square foot lot, located on the southeast corner of San Antonio and 11th Avenues. The existing dwelling is one story and 1,496.7 square feet in size. A Final Determination of Historic Ineligibility was completed for the residence on June 14, 2013.

The applicant is proposing to raise the ceiling above an existing second story loft area to create a new second story. The specific project components include: (1) A new 196 square foot second story, (2) A new 110 square foot second story deck on the west side of the addition, (3) a new 12 square foot balcony on the north side of the 2nd story addition, and (4) the planting of one new lower canopy tree.

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf	1766.7 sf	1796.6 sf
Site Coverage	556 sf	1080 sf	855 sf
Trees	3 Upper /1 Lower (recommended)	0	1 Lower
Ridge Height	18 ft / 24 ft	17 ft / (n/a)	17 ft / 21.5 ft
Plate Height	12 ft / 18 ft	8 ft / (n/a)	8 ft / 17 ft
Setbacks	Minimum Required	Existing	Proposed
Front	25 ft	15 ft	15 ft
Composite Side Yard	11 ft 3 in (25%)	14 ft 8 in (36%)	14 ft 8 in (36%)
Minimum Side Yard	Street side: 9 ft Interior side: 3 ft	Street side: 6 ft 4 in Interior side: 8 ft 4 in	Street side: 6 ft 4 in Interior side: 8 ft 4 in
Rear	3 ft / 15 ft	9 ft 4 in	9 ft 4 in
*Includes 200 sf allocation for parking			
**Includes bonus for 50% or more permeable materials			

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The site does not currently contain any trees, and during the Preliminary Site Assessment the City Forester recommended that the applicant plant one lower canopy on the site either on the southeast corner or the northwest corner of the site. The applicant is proposing one new lower canopy planted in the southeast corner of the site. The City Forester supports the location of the proposed new tree. While the City Forester has only recommended one new tree, the Planning Commission could require additional trees given that there are currently not trees on the lot.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcel;”* *“maintain privacy of indoor and outdoor spaces in a neighborhood;”* and *“maintain view opportunities”* for neighboring property owners.

The eastern neighbor contacted the Planning Department prior to the submittal of the project and expressed concern with the potential view impact. In staff’s opinion, the proposed second-story addition may impact the eastern neighbor’s view. Staff has made several attempts to contact this neighbor, but has been unsuccessful. The Planning Commission will have the opportunity to evaluate the potential view impacts during the Tour of Inspection. Staff will continue to try to contact the neighbor prior to the meeting.

With regard to privacy, staff has not identified any significant concerns. Both adjacent neighbors have second story elements and it appears that the applicant has positioned the proposed addition to avoid direct lines of sight between all second story elements. The second story element is positioned 31-feet away from the second story element to the rear and 21 feet away from the second story element to the south.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building’s mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”* Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”*

Although the proposed second-story addition is only 110 square feet in size, it appears prominent due to its location on the building and design. Staff has included a recommendation that the Planning Commission provide direction to the applicant with regard to the design and massing of the second story addition.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *“Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings.”* The Guidelines emphasize using *“restraint”* and *“simplicity”* in building forms, which should not be complicated, and roof lines, which should *“avoid complex forms.”*

Currently, the residence has one long roofline running the length of the house, with three small steps visible from the north elevation. The new second story addition would be located in the center of the house, which would significantly alter the existing roofline by creating an open gable element visible from the street elevation with a 6:12 pitch, and by removing a portion of the existing roof to create the rooftop deck. In staff’s opinion, the proposed second-story and rooftop

deck complicates the existing roofline and is not cohesive with the existing residence. The Commission should consider whether the applicant should simplify the design.

Finish Materials: Finish details are not typically reviewed at the Concept stage; however, the Planning Commission can provide input during the concept review. The existing finish materials include a brick façade on the north elevation and cement plaster siding on all other elevations. The roof is currently light weight slate roofing. All existing finish materials are proposed to remain and the applicant is proposing cement plaster siding on the new second story addition with a copper standing seam roof.

Fences/Walls: The site is currently surrounded by wood fencing around the west, south, and east property lines ranging from 3 feet to 6 feet in height. The applicant is proposing to maintain all of the existing fences.

Site Coverage/Landscaping: The existing site coverage consists of various walkways, steps and porches and exceeds the allowed coverage for a 4,000 square foot lot by 524 square feet. Per Municipal Code Section 17.10.030.C, nonconforming site coverage is required to be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less. The applicant is reducing the coverage based on the added square footage to a total site coverage of 855 square feet. The Commission can direct the applicant to further reduce the site coverage prior to Final Review.

Public ROW: The unimproved portion of the City Right-of-Way (ROW) between the front property line and edge of pavement is approximately 25-feet in width at the largest point and includes multiple trees, an existing driveway, and existing walkways. The existing driveway is 16-feet in width through a portion of the Right of Way, which exceeds the allowed width. Staff is recommended that the applicant reduce the width of the driveway to comply with the 14-foot allowance. The applicant is proposing to remove the concrete walkways within the ROW and replace them with new Decomposed Granite walkways. The existing driveway is proposed to be repaired as part of the project.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 29.9-square foot addition to an existing 1,766.7-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

DS 16-153 (O'Brien)

June 8, 2016

Staff Report

Page 5

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Recommendations/Draft Conditions
- Attachment C – Project Plans

Attachment A – Site Photographs



Attachment B – Recommendations/Draft Conditions

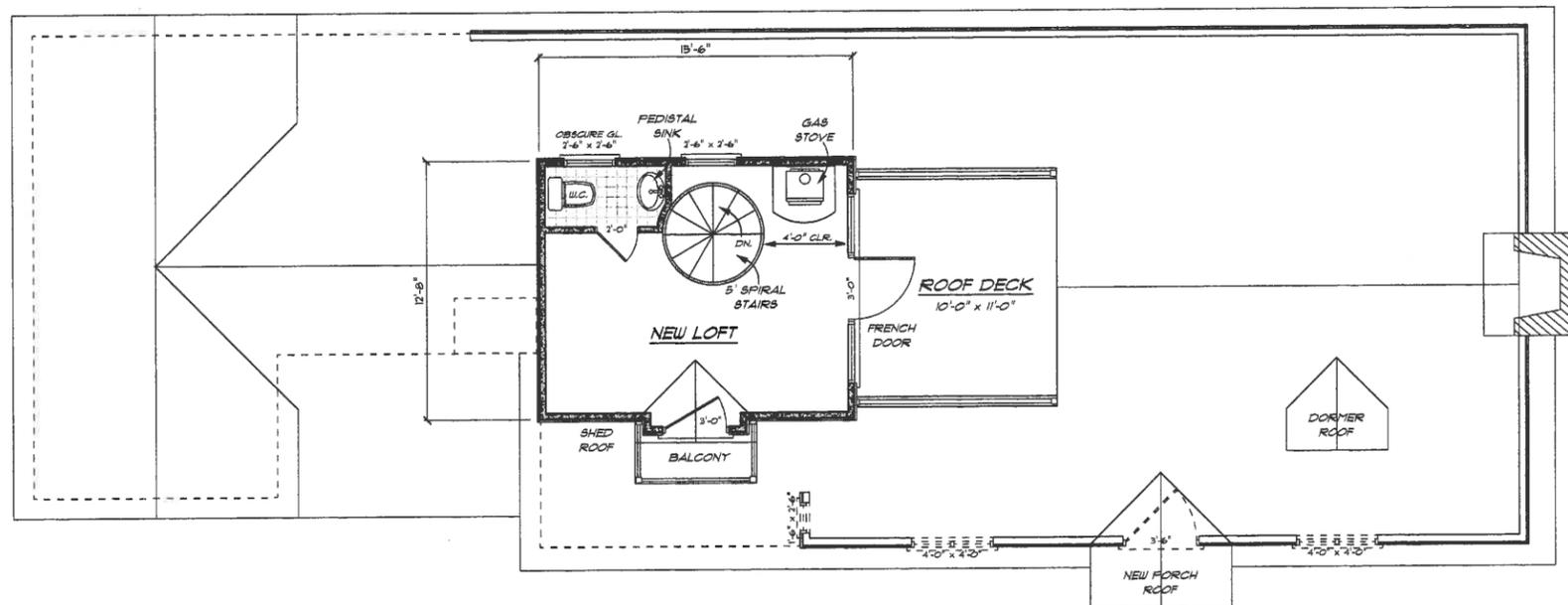
DS 16-177 (Kronenberger)

June 8, 2016

Recommendations/Draft Conditions

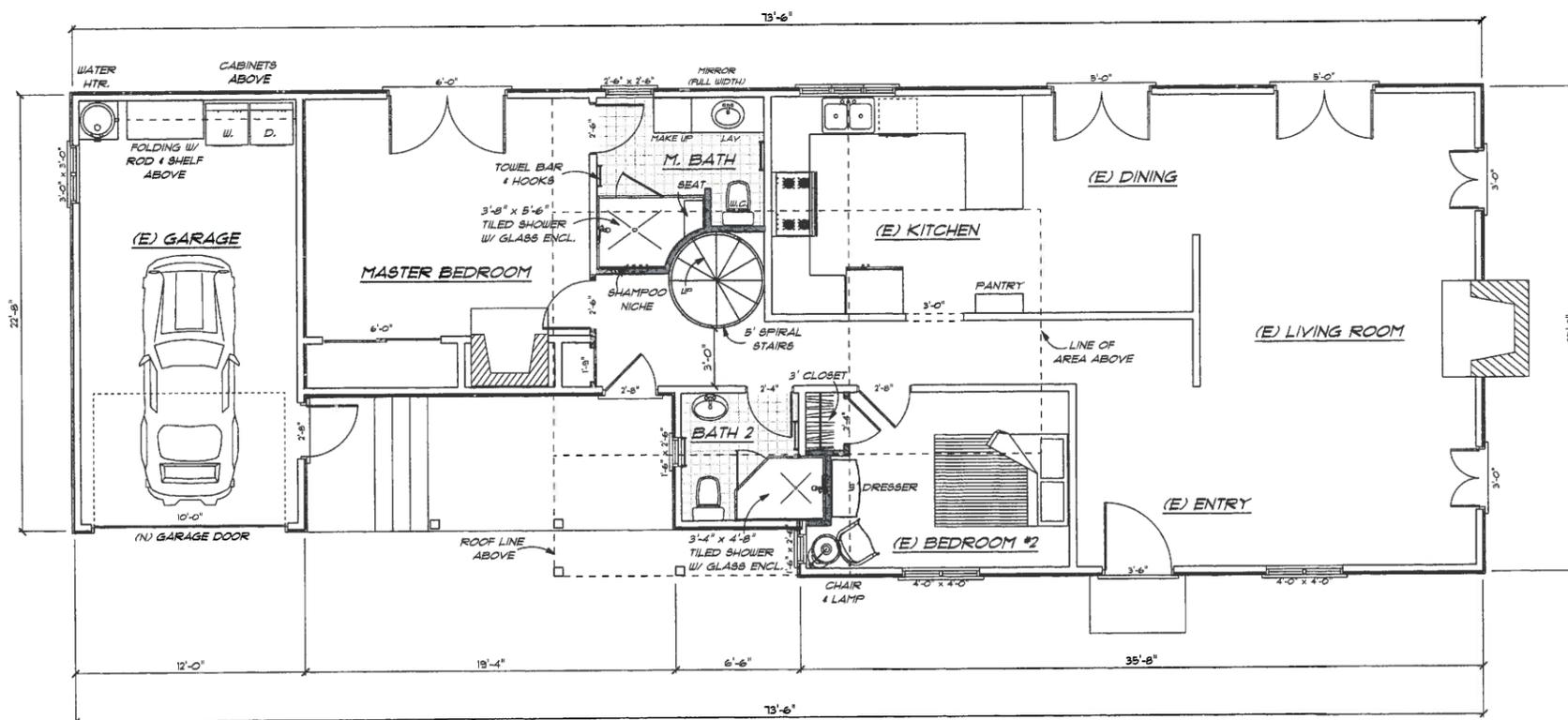
Page 1

Recommendations/Draft Conditions		
No.		
1.	The plans shall be revised to address the view impacts, if identified by the Planning Commission.	
2.	The plans shall be revised to reduce the appearance of mass of the 2 nd story element, based on the comments discussed at the Planning Commission meeting.	
3.	The plans shall be revised to simplify the rooflines, based on the comments discussed at the Planning Commission meeting.	
4.	The project should be revised to reduce the width of the driveway within the City ROW to not exceed 14-feet in width.	



NEW UPPER LOFT 173.3 SQ. FT.

UPPER STAIR AREA = 25 SQ. FT.
(NOT COUNTED ON 2ND LEVEL)



(E) MAIN LEVEL

NEW DOORS & WINDOWS

(N) DOORS, TO BE SOLID CORE WOOD TO MATCH EXISTING SOLID WOOD FRENCH DOORS AND DUTCH STYLE DOORS. NEW GARAGE DOOR TO BE CARRIAGE STYLE WOOD 4 PANEL.

ALL NEW WINDOWS TO BE WOOD WINDOWS WITH TRUE DIVIDED LITES TO MATCH EXISTING WOOD WINDOWS.

NEW FLOOR PLAN

SCALE: 1/4" = 1'-0"

(E) MAIN LEVEL = 1353.3 SQ.FT.

(E) GARAGE = 270 SQ. FT.



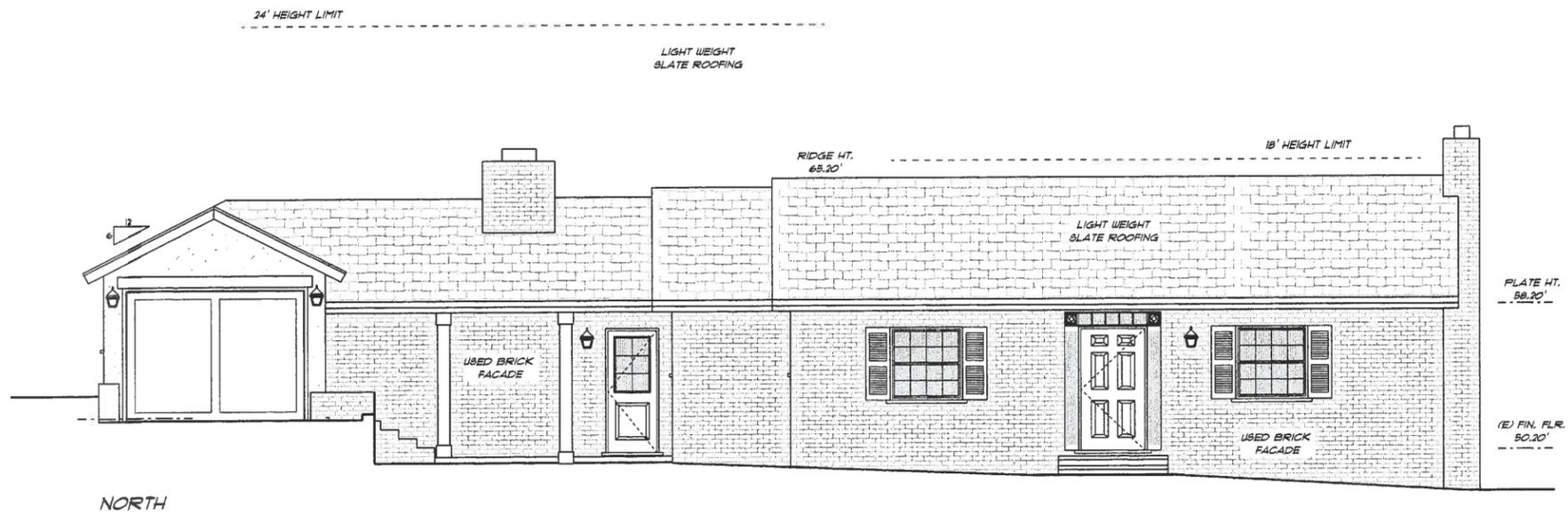
REVISIONS	BY

MARK THOMPSON DESIGN
P.O. BOX 2171, MONTEREY CA 95042
(831) 889 7881 PH (831) 889 7500 FAX
markthompsondesign@earthlink.net

RECEIVED
MAY 15 2016
City of Carmel-by-the-Sea
Planning & Building Dept.

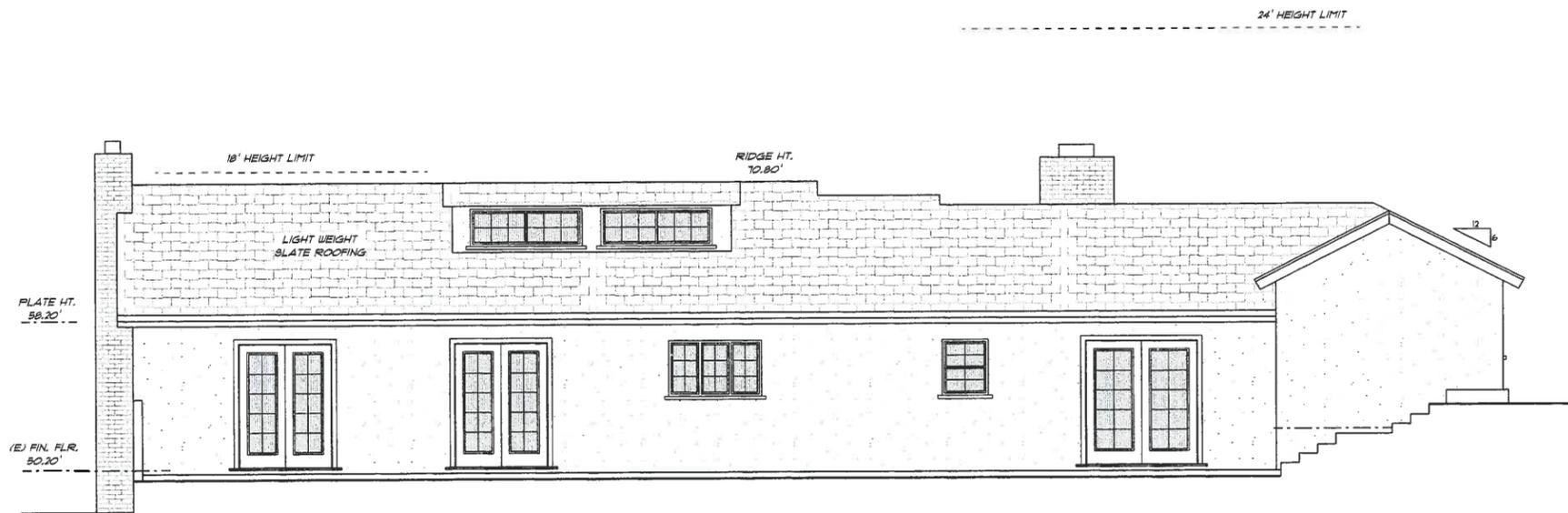
KRONENBERGER RESIDENCE
SAN ANTONIO # 11TH
CARMEL, CALIFORNIA
APN: 010-279-016-000

DRAWN BY: M. THOMPSON
CHECKED BY:
DATE: 2 MAY 2016
SCALE: AS NOTED
SHEET No. A3
OF 8 SHEETS



NORTH

**EXISTING
EXTERIOR ELEVATIONS**
SCALE 1/4" = 1'-0"



SOUTH

REVISIONS	BY

MARK THOMPSON DESIGN
P.O. BOX 2121, MONTEREY, CA 93945
(831) 889 7888 PH. (831) 889 7880 FAX
markthompsondesign@cbglobal.net

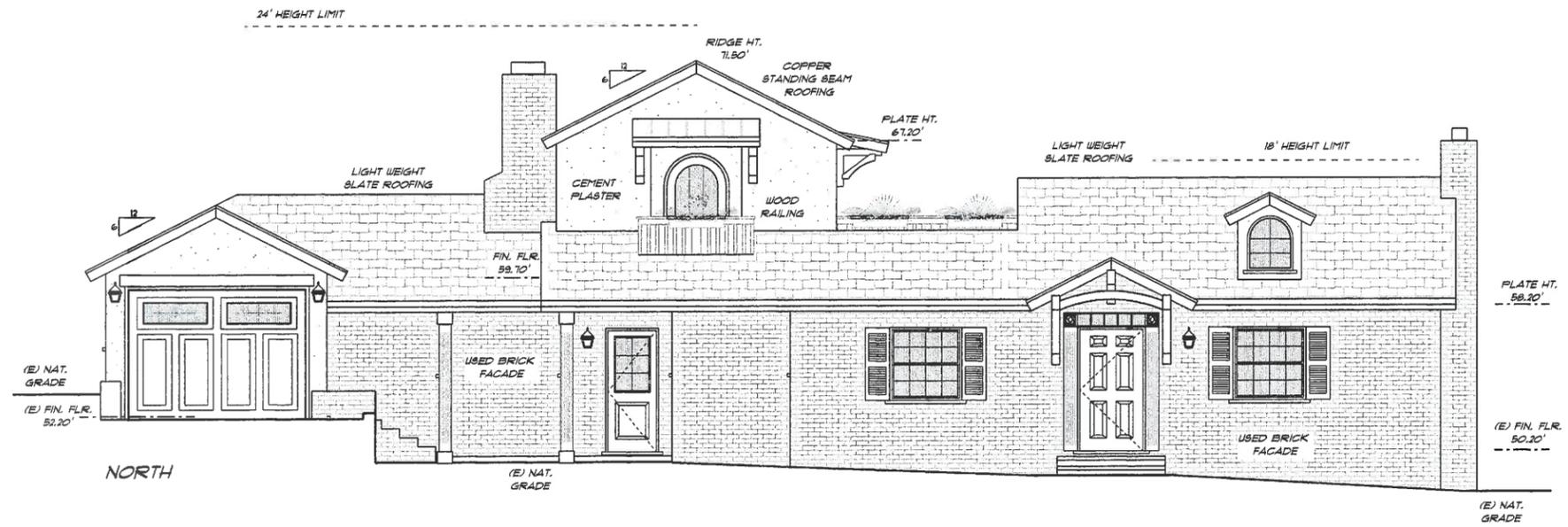
RECEIVED
MAY 18 2016
City of Carmel-by-the-Sea
Planning & Building Dept.

KRONENBERGER RESIDENCE
SAN ANTONIO # 11TH
CARMEL, CALIFORNIA
APN: 010-279-016-000

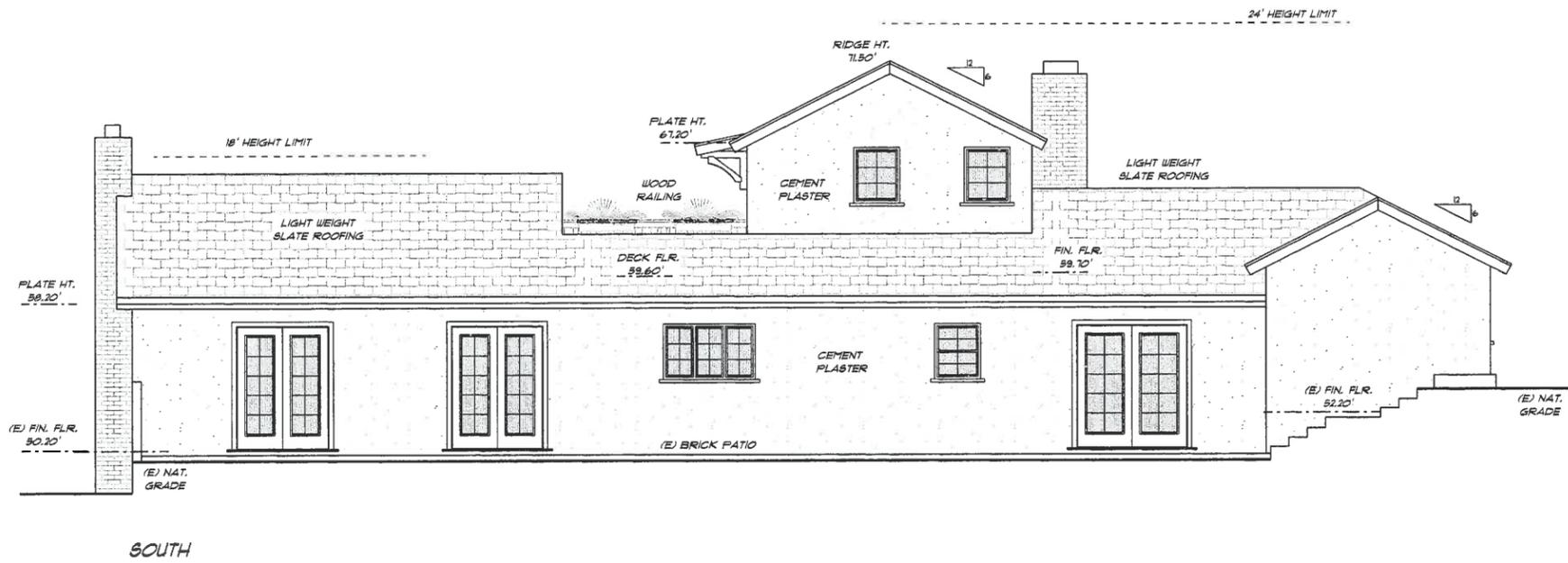
DRAWN BY:
M. THOMPSON
CHECKED BY:
M. T.
DATE:
2 MAY 2016
SCALE:
AS NOTED
JOB NO.:

SHEET No.
A4
OF 8 SHEETS

REVISIONS	BY



**PROPOSED
EXTERIOR ELEVATIONS**
SCALE 1/4" = 1'-0"



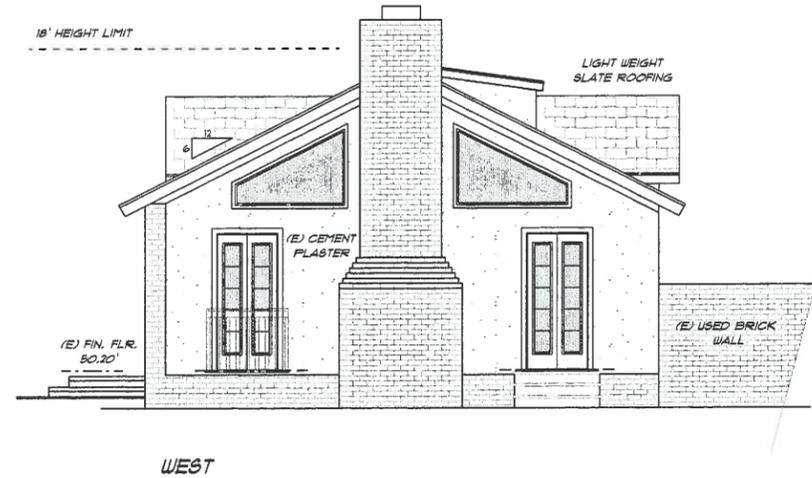
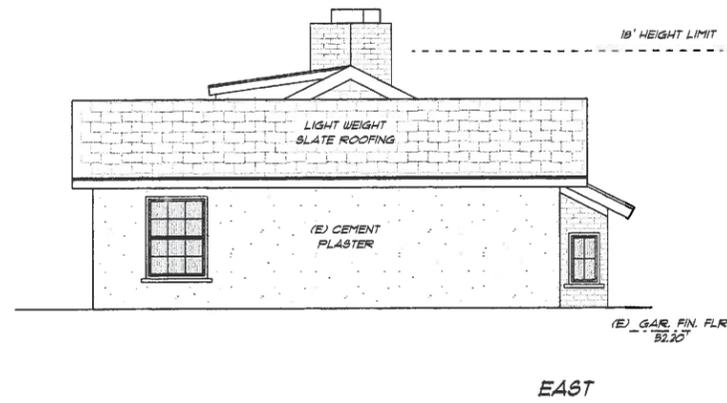
RECEIVED
MAY 1 2016
City of Carmel-by-the-Sea
Planning & Building Dept.

MARK THOMPSON DESIGN
P.O. BOX 2171, MONTEREY CA 93942
(831) 659 7581 PH (831) 659 7500 FAX
markthompsondesign@icgglobal.net

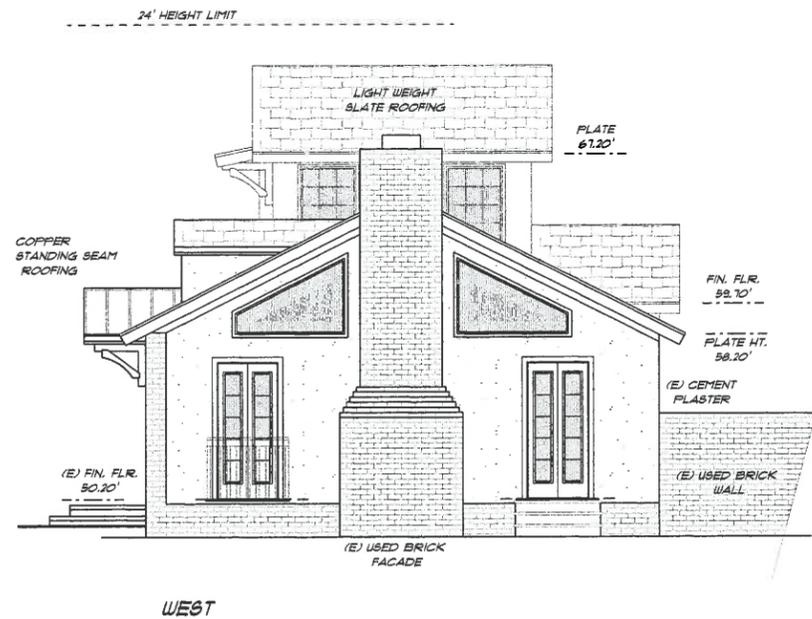
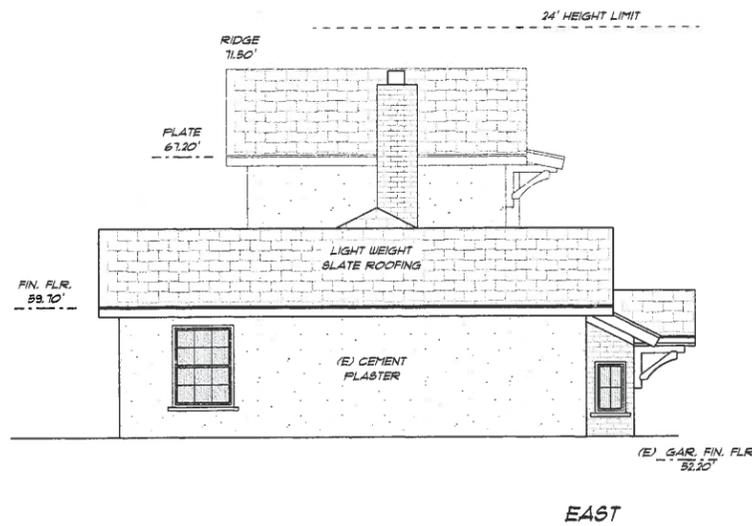
KRONENBERGER RESIDENCE
SAN ANTONIO # 11TH
CARMEL, CALIFORNIA
APN: 010-279-016-000

DRAWN BY:
M. THOMPSON
CHECKED BY:
M. T.
DATE:
2 MAY, 2016
SCALE:
AS NOTED
JOB No.:

SHEET No.
45
OF 8 SHEETS



**EXISTING
EXTERIOR ELEVATIONS**
SCALE 1/4" = 1'-0"



**PROPOSED
EXTERIOR ELEVATIONS**
SCALE 1/4" = 1'-0"

REVISIONS	BY

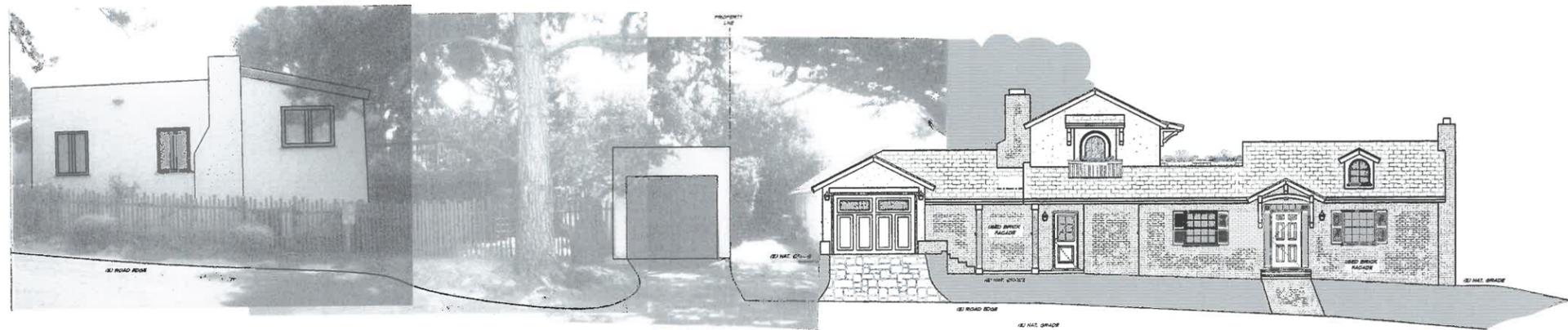
MARK THOMPSON DESIGN
P.O. BOX 2174 MONTEREY CA 95020
(831) 699-7981 PH (831) 699-7900 FAX
markthompsondesign@cbglobal.net

RECEIVED
MAY 2016
City of Carmel-by-the-Sea
Planning & Building Dept.

KRONENBERGER RESIDENCE
SAN ANTONIO & 11TH
CARMEL, CALIFORNIA
APN: 010-279-016-000

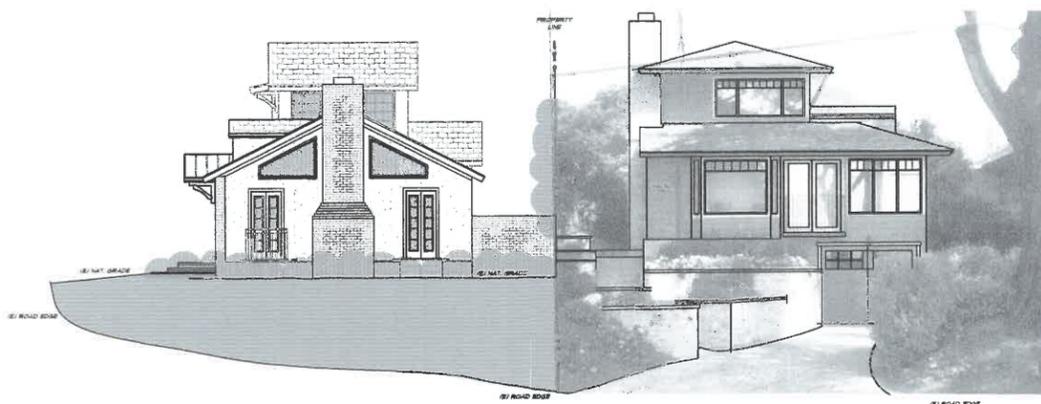
DRAWN BY:
M. THOMPSON
CHECKED BY:
M. T.
DATE:
2 MAY 2016
SCALE:
AS NOTED
JOB No.:

SHEET No.
46
OF 8 SHEETS



PROPOSED ELEVATION VIEWED FROM 11th AVENUE

SCALE: 1/8" = 1'-0"



PROPOSED ELEVATION VIEWED FROM SAN ANTONIO

SCALE: 1/8" = 1'-0"



GRAPHIC SCALE

REVISIONS	BY

MARK THOMPSON DESIGN
 P.O. BOX 2171, MONTEREY CA 95040
 (831) 899-7981 PH (831) 899-7900 FAX
 markthompsondesign@esglobal.net



RECEIVED

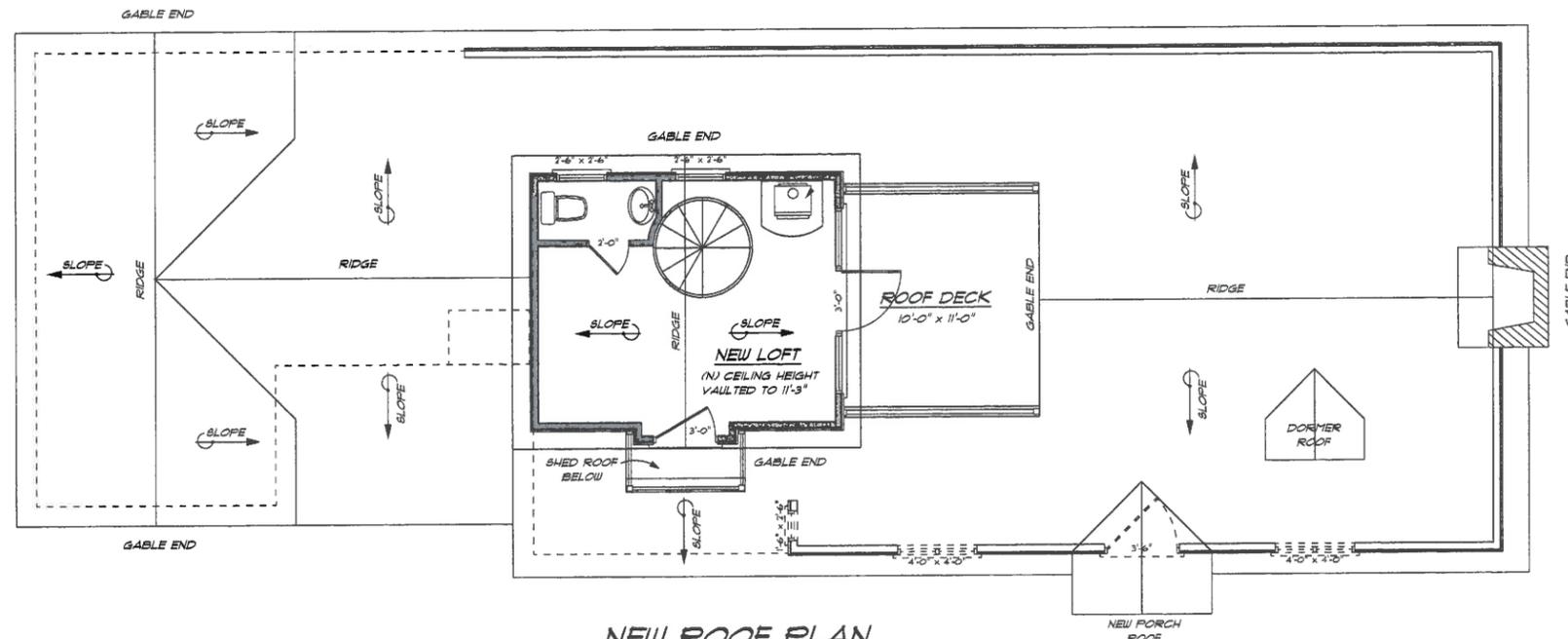
MAY 11 2016

City of Carmel-by-the-Sea
 Planning & Building Dept.

KRONENBERGER RESIDENCE
 SAN ANTONIO & 11TH
 CARMEL, CALIFORNIA
 APN: 010-279-016-000

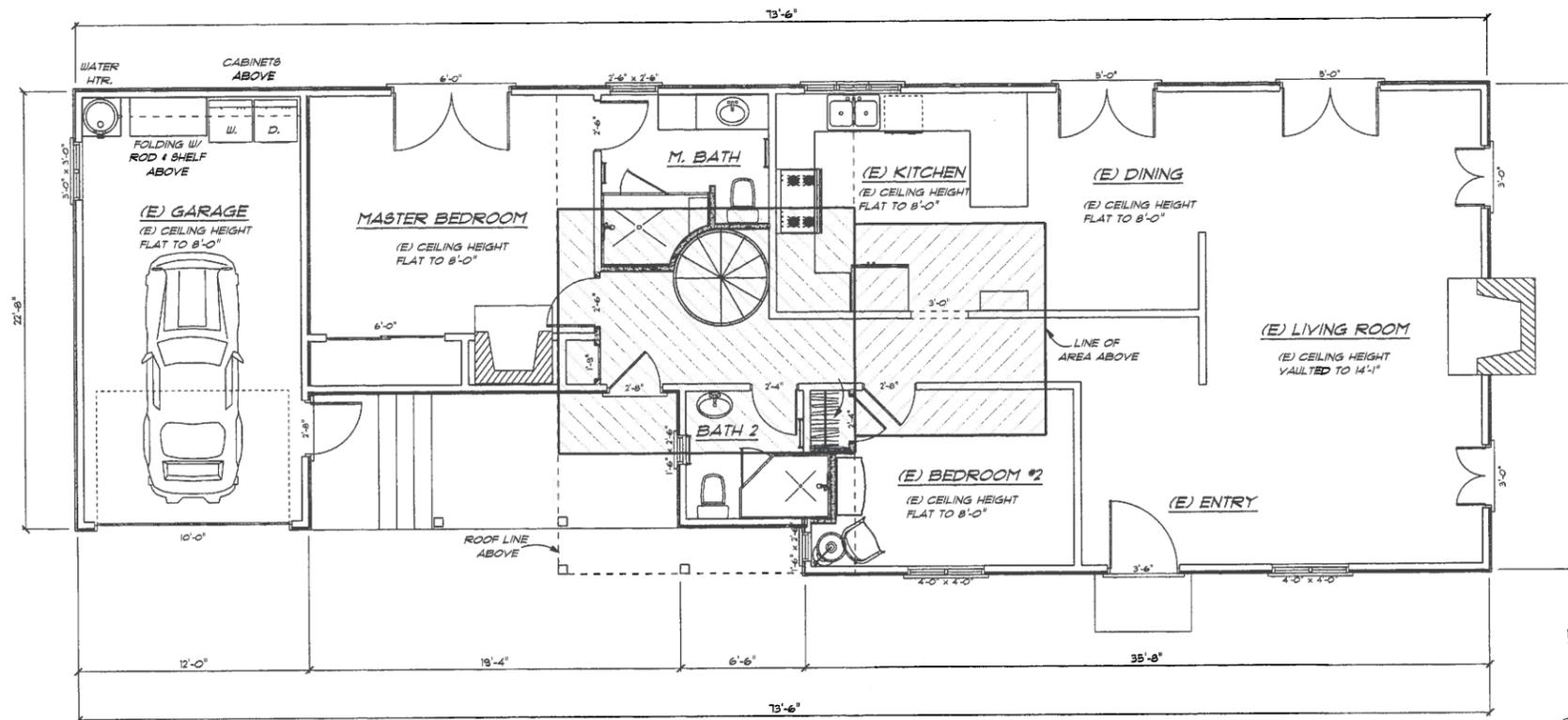
DRAWN BY:
 L. LEPETICH
 CHECKED BY:
 M. T.
 DATE:
 2 MAY, 2016
 SCALE:
 AS NOTED
 JOB No.:

SHEET No.
47
 OF 8 SHEETS



NEW ROOF PLAN

SCALE: 1/4" = 1'-0"



TOTAL OF OVERLAPPED FLOOR AREA = 198.3 SQ.FT.

TOTAL OF NON-OVERLAPPED FLOOR AREA = 1155 SQ.FT.

GARAGE AREA = 270 SQ.FT.

(E) MAIN LEVEL

FLOOR LEVEL MAP

SCALE: 1/4" = 1'-0"

REVISIONS	BY

MARK THOMPSON DESIGN
 P.O. BOX 2374, MONTEREY, CA 93942
 (831) 669-7581 PM (831) 669-7500 FAX
 markthompsondesign@sageglobal.net



RECEIVED

MAY 15 2016

City of Carmel-by-the-Sea
 Planning & Building Dept.

KRONENBERGER RESIDENCE
 SAN ANTONIO & 11TH
 CARMEL, CALIFORNIA
 APN: 010-279-016-000

DRAWN BY:
 M. THOMPSON
 CHECKED BY:
 M. T.
 DATE:
 2 MAY 2016
 SCALE:
 AS NOTED
 238 No.

SHEET No.

48

OF 8 SHEETS



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

June 8, 2016

To: Chair Goodhue and Planning Commissioners

From: Marc Wiener, AICP, Interim Community Planning & Building Director

Submitted by: Ashley Hobson, Contract Planner

Subject: Consideration of a Concept Design Study (DS 16-153) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District.

Recommendation:

Accept the Concept Design Study (DS 16-153) subject to the attached findings and recommendations/draft conditions.

Application:	DS 16-153	APN:	010-271-016
Block:	136	Lot:	12
Location:	Lincoln St., 5 SE of 12 th Avenue		
Applicant:	Claudio Ortiz Design Group	Property Owner:	O'Brien

Background and Project Description:

The project site consists of a single-family dwelling with a detached guest cottage and shed on a 4,500-square foot lot, located on Lincoln Street, five parcels southeast of 12th avenue. The existing dwelling is 675 square feet in size and the existing detached guest cottage is 396 square feet in size. The site does not currently include an on-site parking space. A Final Determination of Historic Ineligibility was completed for the residence on February 8, 2016.

The applicant is proposing to remove the rear detached cottage and add additional floor area to the main dwelling unit. The specific project components include: (1) the removal of 31 linear feet of existing walls (including the entire guest cottage and shed) and the addition of 825 square feet of floor area to the residence, (2) The removal of 705.8 square feet of site coverage to reduce the total coverage from 1,321.4 square feet to 615.6 square feet of coverage (3) the addition of a new 18-inch high outdoor gas fire pit, (4) new landscaping throughout including a large gravel patio and

new plantings, (5) asphalt shingle roofing to match existing, (6) board and batten siding on all addition areas to match existing, and (7) new wood windows on all addition areas to match existing.

Staff has scheduled this application for both conceptual review and final review details due to the limited exterior changes. If the Commission has concerns that cannot be addressed at one meeting it may continue the application with a request for changes.

PROJECT DATA FOR A 4,500 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,980	1,328.7 sf*	1724.1 sf*
Site Coverage	615.6 sf**	1,321.4 sf	615.6 sf
Trees	3 Upper /1 Lower (recommended)	7 total	7 total
Ridge Height	18 ft	14 ft	14 ft
Plate Height	12 ft	9 ft	9 ft
Setbacks	Minimum Required	Existing	Proposed
Front	20 ft	10 ft 10 in	10 ft 10 in (No Change)
Composite Side Yard	11 ft 3 in (25%)	49%	
Minimum Side Yard	3 ft	Min. North Side: 3 ft 4 in Min. South Side: 14 ft 5 in	Min. North Side: 3 ft 4 in Min. South Side: 11 ft 2 in
Rear	3 ft / 15 ft	House: 78 ft Guest Cottage: 1 ft 4 in	4 ft 1 in
*Includes 200 sf allocation for parking			
**Includes bonus for 50% or more permeable materials			

Staff analysis:

Parking Requirement: The City's Zoning Code (CMC 17.10.030.F) states that in order to add floor area to an existing residence, the site must have conforming parking. Staff notes the site does not currently meet the 1-space on-site parking requirement. Due to the location of the existing residence and multiple significant trees at the front of the property, providing on-site parking

cannot be easily achieved. In order to provide on-site parking either the entire residence would have to be demolished and re-designed to allow for parking or the applicant would have to remove three significant trees. In light of these requirements, staff could support a Variance from the parking standards, which can be granted when there is a physical hardship that makes the application of zoning requirement impractical. As part of this concept review the Commission should indicate whether it would support a Variance application, which would be approved at the final review.

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining *“a forested image on the site”* and for new construction to be at least six feet from significant trees.

The site currently contains seven trees, and the applicant has not proposed any tree removals or replants. The trees on the site include five Coast Live Oaks, one Monterey Pine, and one Liquidambar. As part of the preliminary site assessment, the City Forester noted that all of the Coast Live Oaks and the Monterey Pine are considered significant trees. The Forester did not recommend any removals or replants on the site.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcel;”* *“maintain privacy of indoor and outdoor spaces in a neighborhood;”* and *“maintain view opportunities.”*

Staff has not identified any view or privacy impacts that would be created by the project. The applicant is proposing to increase the rear setback from 1.5 feet to 4 feet by demolishing the existing detached guest cottage and adding 849 square feet of living space to the residence. The addition will remain one story and match the existing ridge/plate heights, so therefore all existing view sheds from neighboring houses will be maintained.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building’s mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”* Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”* With regard to chimneys, Residential Design Guidelines 9.15 states that *“A chimney should be integrated into the overall building design”* a

The proposed addition would be located at the rear of the home and would not have a significant impact on the mass and bulk viewed from the street. The applicant has modified the roofline above the new addition to match the natural rise in the grade of the site. In staff’s opinion, the building relates to a human scale and meets the guidelines listed above.

The applicant is proposing to add a second chimney on the north side of the property, towards the rear of the residence. An existing brick chimney is proposed to remain in the master bedroom, located near the front of the house. In staff's opinion, the second chimney will not be visible from the street and therefore it does not add significant mass to the structure. Additionally, the chimney will match the board and batten siding of the residence to create an integrated design.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *"Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roof with low plate lines can be used on two-story buildings."* The Guidelines emphasize using *"restraint"* and *"simplicity"* in building forms, which should not be complicated, and roof lines, which should *"avoid complex forms."*

Currently, the residence has two visible gabled rooflines on the front (West) elevation with a pitch of 4:12. The ridge lines of the existing roof run from West to East and the applicant is proposing to maintain the existing ridge line by extending the primary ridge towards the east. All new roofing is proposed to have a pitch of 4.5:12. The roof plan is included on Sheet 10 of the plans. In staff's opinion, the minimal changes to the rooflines are compatible with the existing design of the residence.

Finish Materials: The existing finish material include board and batten siding with a composition shingle roof and wood windows on the main residence. The existing residence has two existing skylights and a brick chimney. The applicant is proposing to maintain the existing board and batten siding throughout the addition areas, and install asphalt composition shingles to match existing. In the rear of the property, a new board and batten chimney is proposed.

Exterior Lighting: With regard to light fixtures, Municipal Code Section 15.36.070.B.1 requires that exterior light fixtures on the building do not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens). The locations of the proposed light fixtures are depicted on Sheet 9 of the plan set, and the details are included on Sheet 13. The applicant is proposing six Old Town Collection lantern style lights mounted around the house, and six 18-inch high landscape lights. The wall mounted lights include a shielded bulb and have an output of 4 watts (150 lumens) and the landscape lights include a shielded cap over the bulb and an output of 3 watts (200 lumens). Staff supports the proposed lighting fixtures and notes that they comply with City requirements.

Fences/Walls: The site is currently surrounded by a 4-foot tall wood fence along the front property line and a 6-foot tall wood fence around the side and rear property lines. The applicant is proposing to maintain all existing fences around the property. Fencing details are included on Sheet 12 of the plans.

Site Coverage/Landscaping: The existing site coverage consists of various walkways, two patios and a large wood deck, and exceeds the allowed coverage for a 4,500 square foot lot by 885.8 square feet. Per Municipal Code Section 17.10.030.C, nonconforming site coverage is required to be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less. The applicant is proposing to bring the site coverage into compliance for the lot size by reducing the coverage to 615.6 square feet. The new site coverage includes an outdoor gas fire pit in the side yard. The fire pit is proposed to be 18-inches tall, constructed of stone, and located approximately 15 feet from the side property line in the center of the lot. Staff has not identified any concerns with the location of the fire pit.

With regard to landscape, the site currently contains scattered landscaping throughout the property. The applicant is proposing to add a large gravel area in the middle of the lot and surround the site with the following plants: Lily of the Nile, Rock Rose, Spanish Lavender, Mexican Sage Brush, Rosemary and Coffeeberry. A landscape plan is included on Sheet L-1 of the plan set.

Public ROW: The unimproved portion of the City Right-of-Way (ROW) between the front property line and edge of pavement is approximately 20-feet in width and includes multiple trees, and a 167.3 square foot sand-set paver parking area. The existing driveway/parking area exceeds the allowed width within the ROW, however the existing driveway will remain. A small portion of the walkway on the north side of the property encroaches into the ROW and is conditioned to be removed as part of the project. Additionally, multiple conglomerate pavers are located within the ROW and are also conditioned to be removed as part of the project.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 825-square foot addition to an existing 1,328.7-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions for Approval
- Attachment D – Project Plans

Attachment A – Site Photographs



Attachment A – Site Photographs



Attachment A – Site Photographs



Attachment A – Site Photographs



Attachment B – Findings for Concept Acceptance

DS 16-153 (O'Brien)
 June 8, 2016
 Concept Findings
 Page 1

<u>FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.8 and LUP Policy P1-45)</u>		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	TBD	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and	✓	

complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.		
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Recommendations/Draft Conditions

DS 16-153 (O'Brien)

June 8, 2016

Recommendations/Draft Conditions

Page 1

Recommendations/Draft Conditions		
No.		
1.	The applicant shall apply for a variance to obtain relief from the on-site parking requirement required by Municipal Code section 17.10.030	
2.	The applicant shall remove the stepping stones from the City ROW. The Planning Commission shall determine whether the parking pad in the ROW shall be removed or reduced in size.	

O'Brien Residence

Exterior & Interior Remodel
Carmel, California

A.P.N. 010-272-016-000
BLOCK: 136 LOTS: 12



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC
P.O. BOX 3775 Carmel, CA 93921
OFFICE: 831.826.4148
CLAUDIO@CODG.COM
WWW.CODG.COM



REVISIONS:

PROJECT DATA

LOT SIZE 4,500.0 SQ.FT.
ZONING R-1
A.P.N. 010-271-016
ADDRESS BLOCK: 136 LOTS: 12

FLOOR AREA		
FAR ALLOWED		
EXISTING		
MAIN DWELLING	674.7 S.F.	
GUEST HOUSE	395.6 S.F.	
SHED	58.4 S.F.	
PARKING (ALLOCATION ONLY)	200.0 S.F.	
TOTAL (E) GROSS FLOOR AREA:	1,328.7 S.F.	29.5%
PROPOSED		
MAIN DWELLING	674.7 S.F.	
MAIN DWELLING ADDITION	849.4 S.F.	
PARKING (ALLOCATION ONLY)	200.0 S.F.	
TOTAL (P) GROSS FLOOR AREA:	1,724.1 S.F.	37.7%

SITE COVERAGE		
LAND COVERAGE ALLOWED		
LAND COVERAGE ALLOWED	435.6 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	180.0 SQ.FT.	4.0% of SITE
TOTAL COVERAGE ALLOWED	615.6 SQ.FT.	13.7 %
EXISTING SITE COVERAGE		
EXISTING IMPERVIOUS COVERAGE		
TOTAL (E) IMPERVIOUS COVERAGE	0.0 SQ.FT.	
EXISTING PERVIOUS COVERAGE		
WALKWAYS & PATIOS	587.4 SQ.FT.	
DECK	525.0 SQ.FT.	
STEPPING STONES	109.0 SQ.FT.	
TOTAL (E) PERVIOUS COVERAGE	1,321.4 SQ.FT.	
TOTAL EXISTING COVERAGE	1,321.4 SQ.FT.	
PROPOSED SITE COVERAGE		
PROPOSED IMPERVIOUS COVERAGE		
TOTAL (P) IMPERVIOUS COVERAGE	0.0 SQ.FT.	
PROPOSED PERVIOUS COVERAGE		
DECK	372.0 SQ.FT.	
SOUTH PATIO	149.6 SQ.FT.	
STOOP	15.3 SQ.FT.	
NORTH PATIO	78.7 SQ.FT.	
TOTAL (P) PERVIOUS COVERAGE	615.6 SQ.FT.	
TOTAL PROPOSED COVERAGE	615.6 SQ.FT.	

EXTERIOR LIGHTING NOTES	
1.	ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2.	LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

SHEET INDEX

- COVER NOTES
- EXISTING SITE PLAN & HARDSCAPE REMOVAL PLAN
- PROPOSED SITE PLAN
- TOPOGRAPHIC SURVEY
- MAIN LEVEL DEMOLITION PLAN
- EXISTING FLOOR PLAN
- EXISTING ELEVATIONS
- PROPOSED MAIN LEVEL FLOOR PLAN
- PROPOSED ELEVATIONS
- EXISTING & PROPOSED ROOF PLAN
- PROPOSED WINDOW & DOOR SCHEDULE
- EXISTING MATERIALS
- PROPOSED MATERIALS
- PROPOSED LANDSCAPE

SCOPE OF WORK

- REMODELING AN EXISTING ONE STORY SINGLE FAMILY DWELLING AND ADDING 825.2 SQ.FT. THE OVERALL OR GROSS FLOOR AREA ADDITION TO THE PROPERTY AFTER REMOVING THE GUESTHOUSE AND STORAGE SHED WILL BE 371.2 SQ.FT. STORAGE SHED
- REMOVING A 395.6 SQ.FT. GUESTHOUSE AND A 58.4 SQ.FT. STORAGE SHED
- THE NEW ADDITION WILL MATCH THE EXISTING MATERIALS
- REMOVING ALL OF THE EXISTING HARDSCAPE AND REPLACING IT WITH NEW HARDSCAPE, THUS REDUCING THE COVERAGE BY 447.6 SQ.FT. AND MAKING MOST OF THE COVERAGE PERVIOUS.

VICINITY MAP NOT TO SCALE



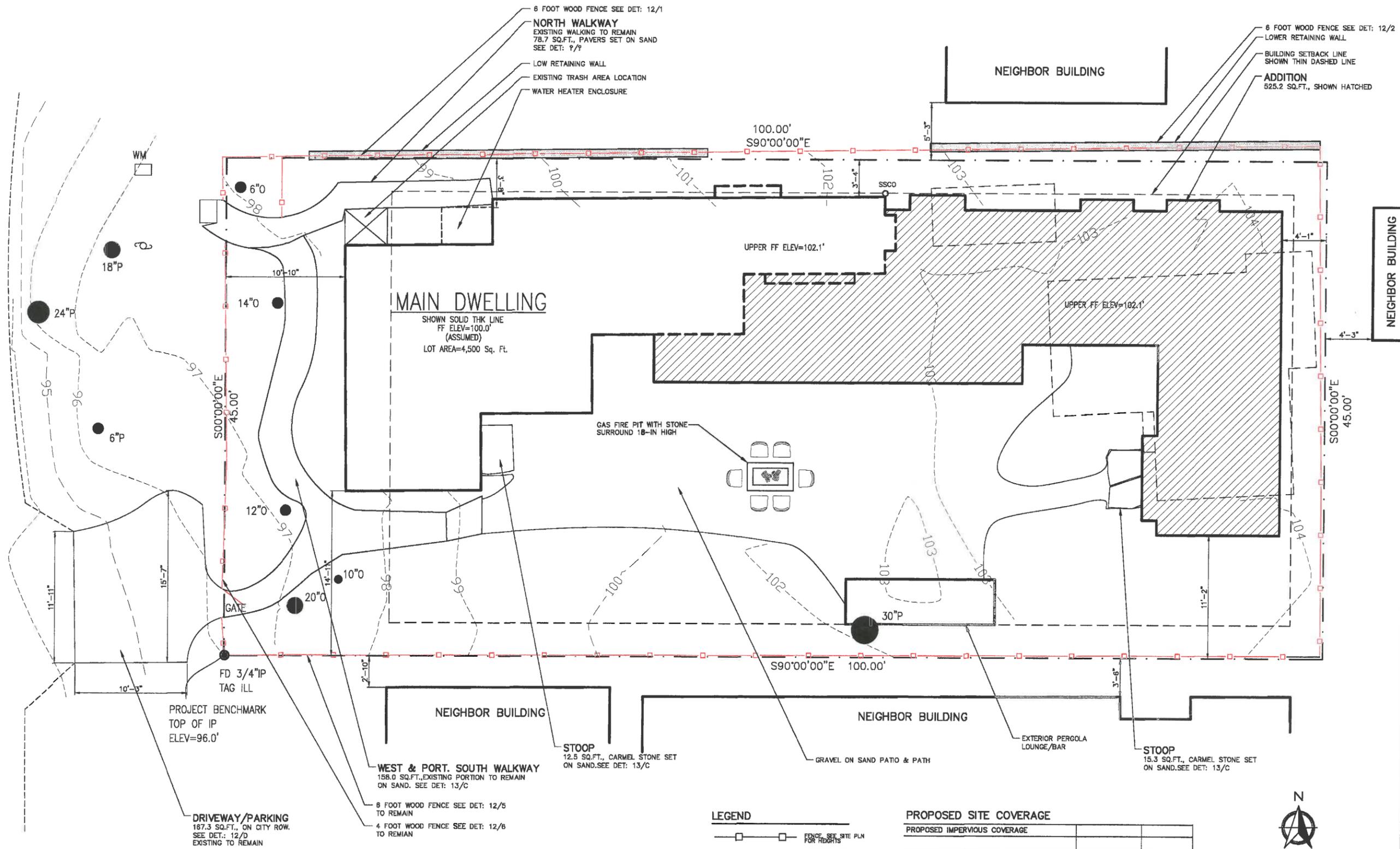
PROJECT: O'Brien Residence
Lincoln St. 5 S/e of 12th Ave.
BLOCK: 136 LOTS: 12
APN: 010-272-016-000
PROJECT NO. 16-04

ISSUE: 4-8-16
DRAWN BY: A.J. Ortiz

EXISTING SITE PLAN
COVER SHEET
REMOVAL PLAN

SCALE: 1" = 1/4"

EDGE OF PAVEMENT

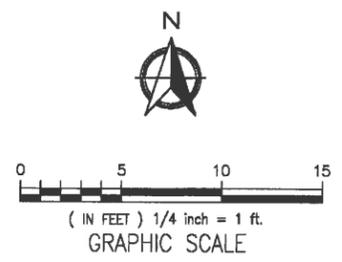


LEGEND

- FENCE SEE SITE PLAN FOR DETAILS
- PROPERTY LINE
- MIN. SETBACKS
- LIGHT FIXTURE, SEE SHEET 12 FOR SPEC'S
- EXISTING TREES TO REMAIN
- HOSE BIB
- GAS LINE

PROPOSED SITE COVERAGE

PROPOSED IMPERVIOUS COVERAGE	
TOTAL (P) IMPERVIOUS COVERAGE	0.0 SQ.FT.
PROPOSED PERVIOUS COVERAGE	
SOUTH WALKWAY	58.0 SQ.FT.
WEST & PORT. SOUTH WALKWAY	158.0 SQ.FT.
STOOP	15.3 SQ.FT.
NORTH WALKWAY	78.7 SQ.FT.
TOTAL (P) PERVIOUS COVERAGE	615.6 SQ.FT.
TOTAL PROPOSED COVERAGE	615.6 SQ.FT.



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC
 P.O. BOX 3775, CARMEL, CA 93921
 CLAUDIO@CODG.COM
 WWW.CODG.COM

THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CLAUDIO ORTIZ DESIGN GROUP, INC.

REVIEWS:

PROJECT:
 O'Brien Residence
 Lincoln St. S 5/e of 12th Ave.
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
PROJECT NO.
 16-04

ISSUE:
 4-12-16

DRAWN BY:
 A.J.Ortiz

**PROPOSED
 SITE PLAN**

SCALE: 1/4" = 1'



CODG
CJALDO ORTIZ DESIGN GROUP, INC
 P.O. BOX 3775, Cerritos, CA 93921
 TEL: (916) 437-1166
 FAX: (916) 437-1167
 WWW.CODG.COM

REVISIONS TO THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE CLIENT AND ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

REVISIONS:

PROJECT: Residence
 O'Brien St. 5 S/e of 12th Ave.
 Lincoln St. 136 LOTS: 12
 APN: 010-272-016-000
 PROJECT NO.
 16-04

ISSUE:
 4-12-16
 DRAWN BY:
 A.J.Ortiz

MAIN LEVEL
 DEMOLITION PLAN

SCALE: 1" = 1/4"

5 135

KEYNOTES

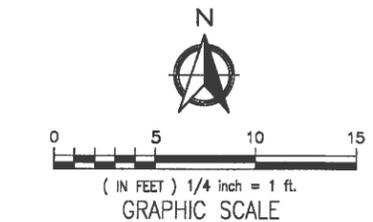
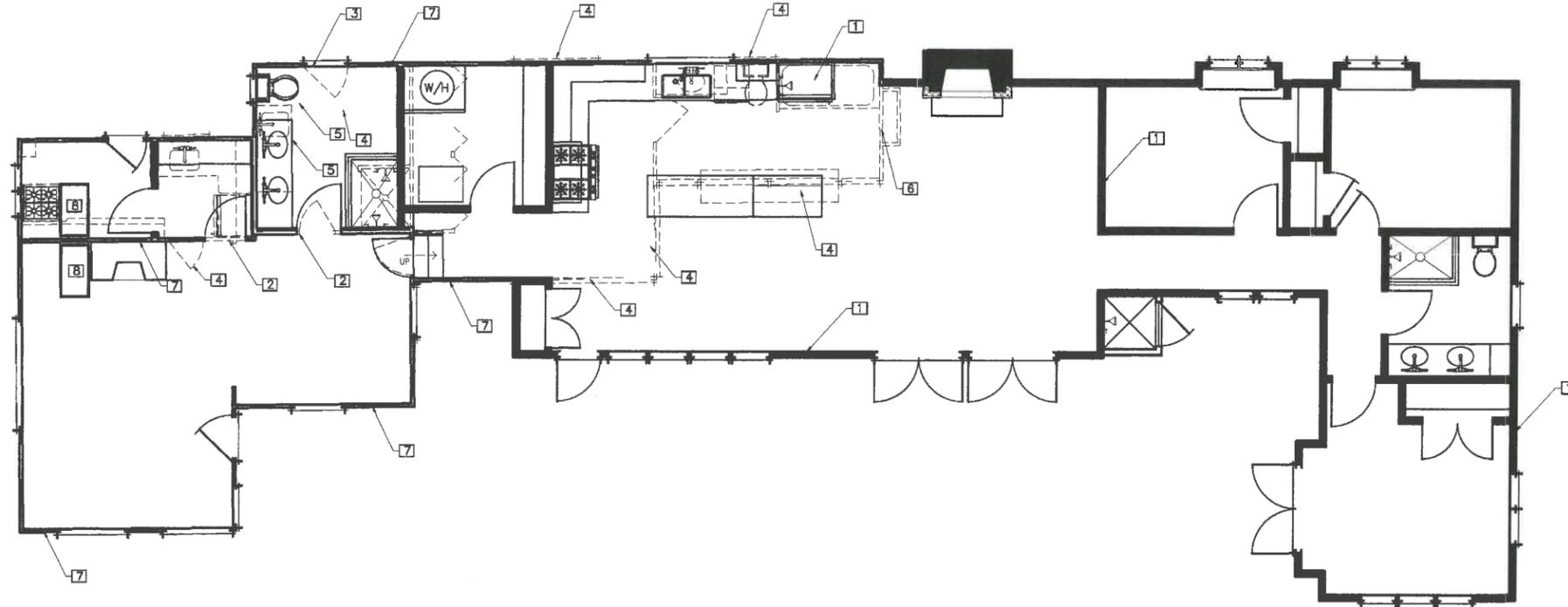
- 1 (N) WALLS PER PLAN
- 2 PREPARE AREA FOR NEW DOORS
- 3 PREPARE AREA FOR NEW WINDOWS
- 4 (E) DOORS & WINDOWS TO BE REMOVED
- 5 (E) PLUMBING FIXTURES TO BE REMOVED & RELOCATED
- 6 (E) WALLS TO BE REMOVED
- 7 (E) WALLS TO REMAIN
- 8 (E) SKYLIGHTS TO REMAIN

DEMOLITION DATA

	EXISTING	REMOVAL	ADDITION
MAIN LEVEL	145.10 LN.FT.	31.7 LN.FT.	158.5 LN.FT.
GARAGE	0.0 LN.FT.	0.0 LN.FT.	00.0 LN.FT.
TOTAL	145.10 LN.FT. 100.0 %	0.0 LN.FT. 21.7 %	0.0 LN.FT. 108.4 %

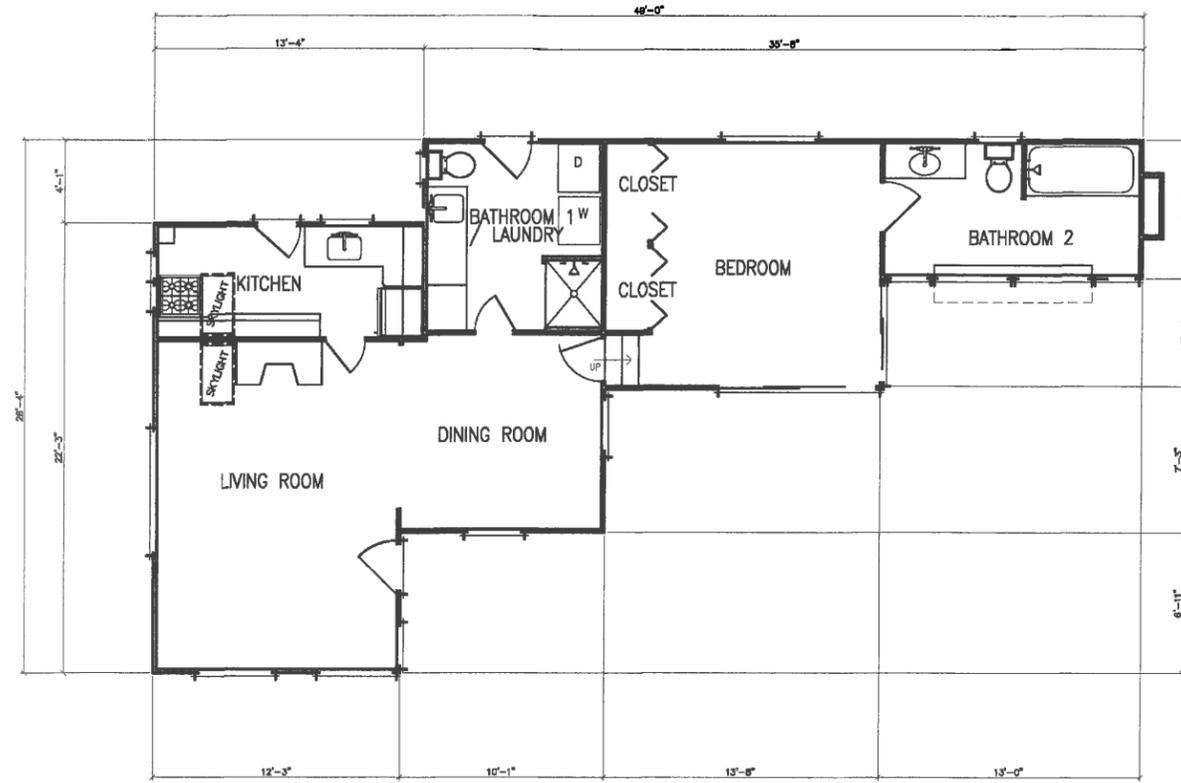
SCOPE OF DEMOLITION WORK:

- EXTERIOR:**
- KEEPING ALL EXISTING WINDOWS ON EXISTING PORTION OF HOUSE
 - REMOVE EXTERIOR DOORS AND REPLACE WITH NEW WOOD DOORS
 - REMOVE PORCH ON WEST ELEVATION (FRONT) AND REPLACE WITH NEW COVERED PORCH WITH STONE PER PLAN.
 - REFURBISH PORCH ON THE SOUTH SIDE.
- INTERIOR:**
- REMOVE ALL FLOOR IN LIVING SPACES, KITCHEN AND BATHROOMS.
 - REMOVE ALL EXISTING FIXTURES AND REPLACE WITH NEW PER PLAN
 - REMOVE CABINETS, TILE, SLABS AND PREPARE AREAS FOR NEW CABINETS, TILE AND SLABS PER PLAN.
 - EXISTING FURNACE TO BE REPLACED AND VERIFY EXISTING DUCT SYSTEM AND VENTS FOR NEW LOCATIONS.
 - WATER HEATERS TO REMAIN
 - VERIFY EXISTING ELECTRICAL WORK AND UPDATE ACCORDINGLY PER ELECTRICAL PLAN

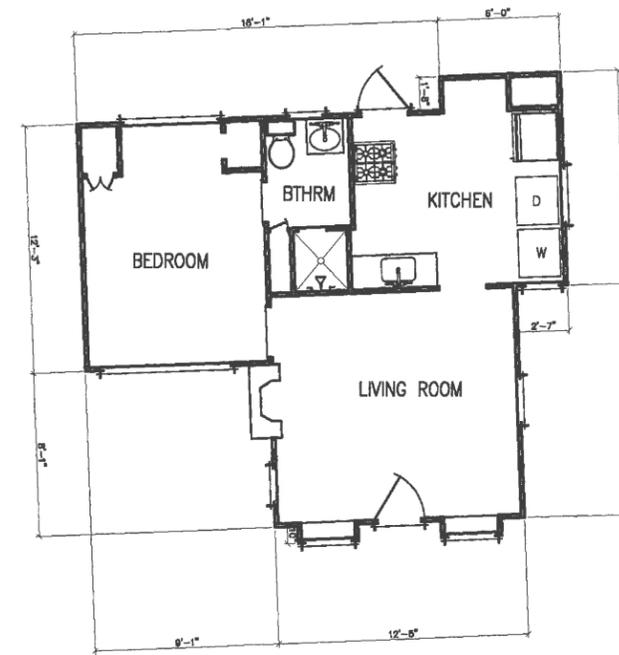


WALL LEGEND

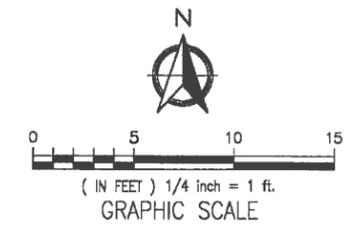
- 2x ALL INTERIOR WALLS
- 2x NEW WALLS
- --- EXISTING WALLS TO BE REMOVED



MAIN HOUSE



GUEST HOUSE



FLOOR AREA	
MAIN LEVEL	674.7 SQ.FT.
MAIN LEVEL	395.6 SQ.FT.
TOATAL	1,070.3 SQ.FT.



C.O.D.G.
 CLAUDIO ORTIZ DESIGN GROUP, INC
 P.O. BOX 3775, Cerritos, CA 93921
 CLAUDIO@CODG.COM
 WWW.CODG.COM

NO WARRANTIES, REPRESENTATIONS OR AGREEMENTS ARE MADE BY THIS ARCHITECT FOR THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY ANY OTHER PARTY. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PARTIES AND HAS NOT CONDUCTED ANY SURVEYING OR MEASUREMENTS. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PARTIES AND HAS NOT CONDUCTED ANY SURVEYING OR MEASUREMENTS. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PARTIES AND HAS NOT CONDUCTED ANY SURVEYING OR MEASUREMENTS. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY OTHER PARTIES AND HAS NOT CONDUCTED ANY SURVEYING OR MEASUREMENTS.

REVISIONS:

PROJECT:
 O'Brien Residence
 Lincoln St. S/E of 12th Ave.
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
 PROJECT NO.
 16-04

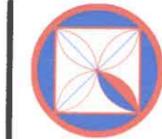
ISSUE:
 4-8-16
 DRAWN BY:
 A.J.Ortiz

EXISTING MAIN &
 GUEST HOUSE
 FLOOR PLANS

SCALE: 1" = 1/4"

KEY NOTES

- 1 ROOF: ASPHALT SHINGLE
- 2 SIDING: BOARD & BATTEN
- 3 WINDOWS: WOOD
- 4 DOORS: WOOD
- 5 CHIMNEY: FIRE BRICK
- 6 SHUTTERS: WOOD
- 7 WOOD FLOWER BOX
- 8 GRADE: WHERE OCCURS
- 9 SKYLIGHT 24X36



C.O.D.G.
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 P.O. BOX 3775 Carmel, CA 93921
 CLAUDIO@CODG.COM
 WWW.CODG.COM

THESE PLANS ARE THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF CLAUDIO ORTIZ DESIGN GROUP, INC. IS STRICTLY PROHIBITED. © 2016 CLAUDIO ORTIZ DESIGN GROUP, INC.

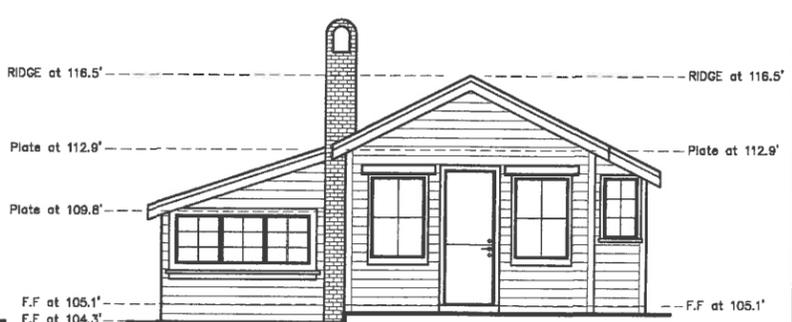
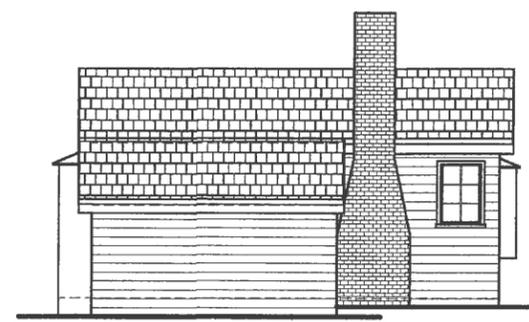
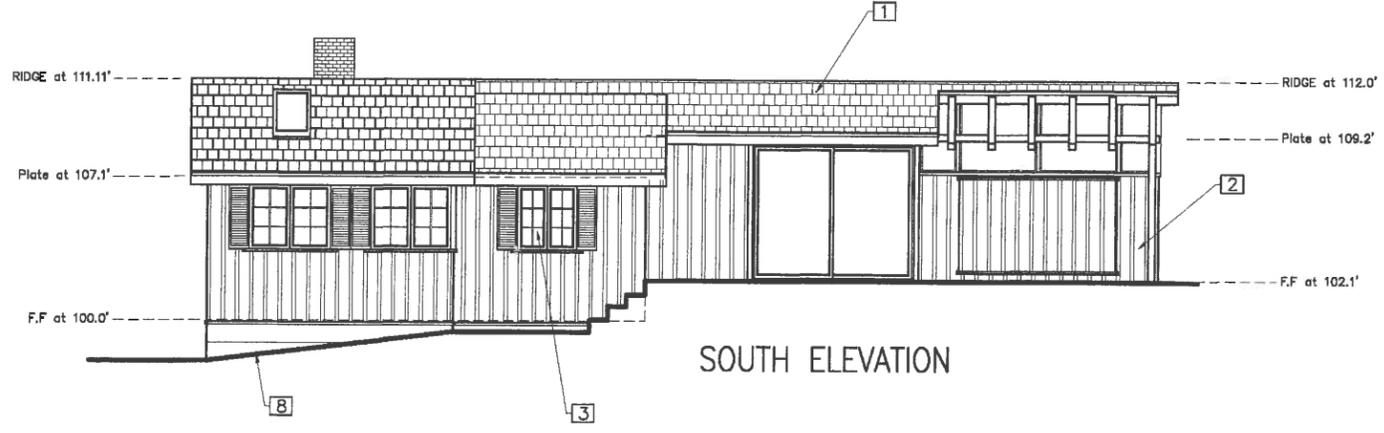
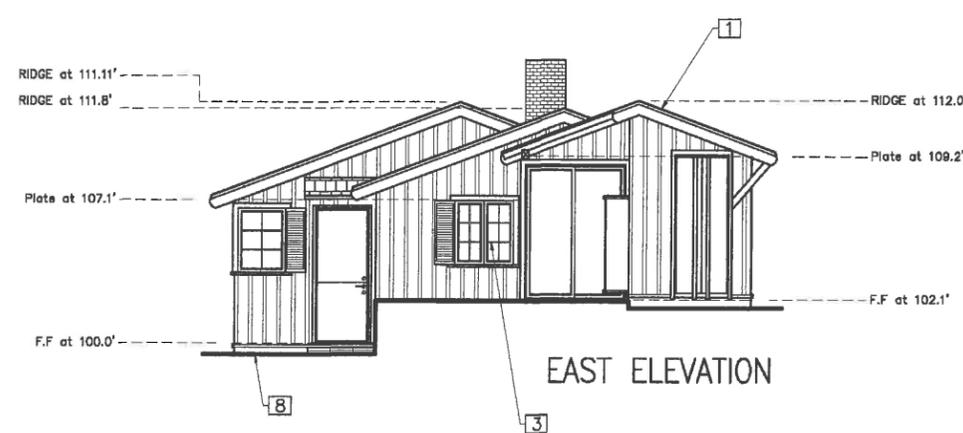
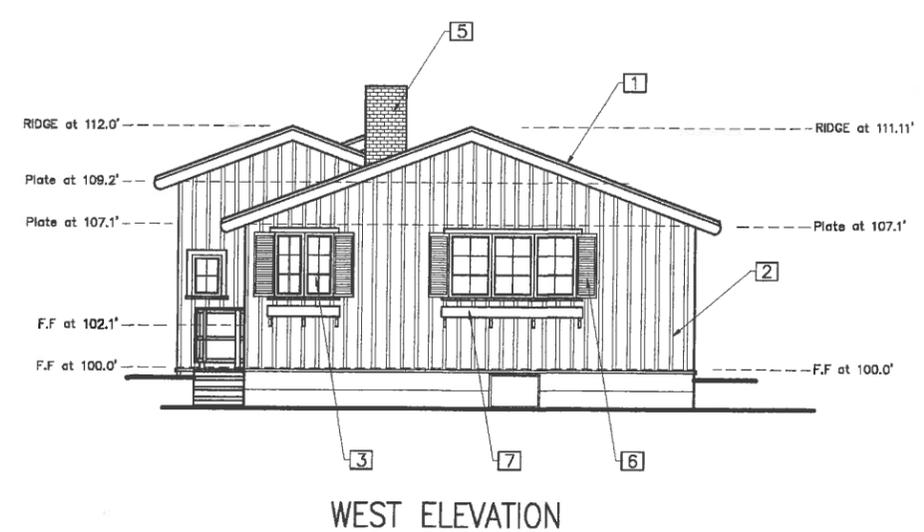
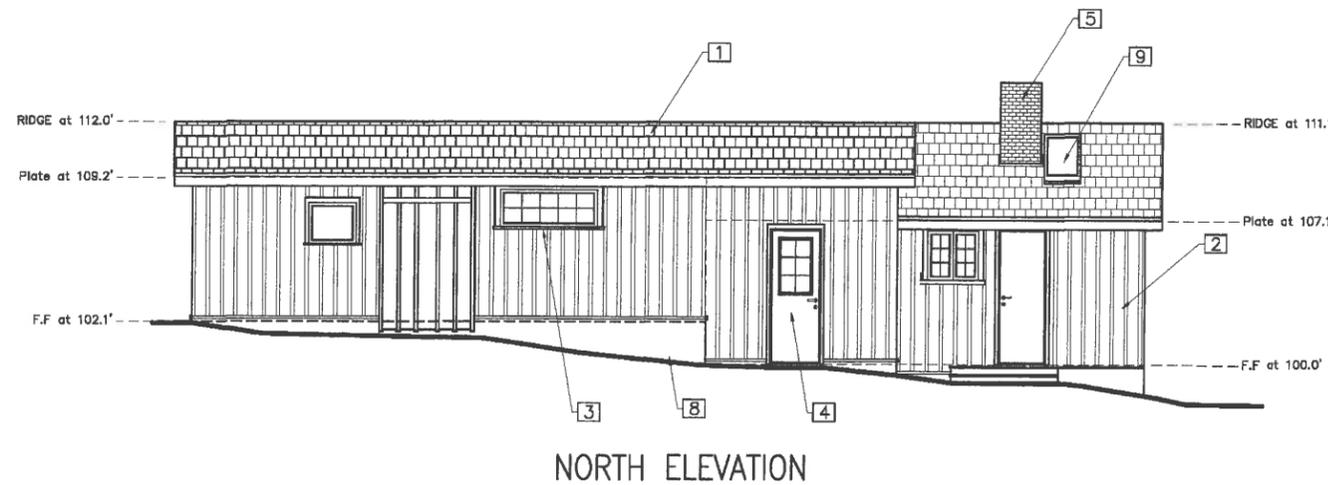
REVISIONS:

PROJECT:
 O'Brien Residence
 Lincoln St. 5 S/e of 12th Ave.
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
PROJECT NO.
 16-04

ISSUE:
 4-8-16
DRAWN BY:
 A.J.Ortiz

EXISTING ELEVATIONS

SCALE: 1" = 1/4"



WEST ELEVATION

SOUTH ELEVATION

EAST ELEVATION

NORTH ELEVATION



C.O.D.G.
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 P.O. BOX 3775 Corona, CA 92621
 OFFICE: 951.626.4146
 WWW.CODG.COM

REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE NUMBER OF REVISIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE NUMBER OF REVISIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE NUMBER OF REVISIONS.

REVISIONS:

PROJECT: O'Brien Residence
 Lincoln St. S/S/e of 12th Ave.
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
 PROJECT NO. 16-04

ISSUE: 4-12-16
 DRAWN BY: A.J. Ortiz

PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'

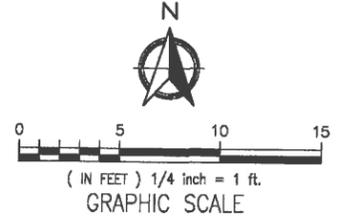
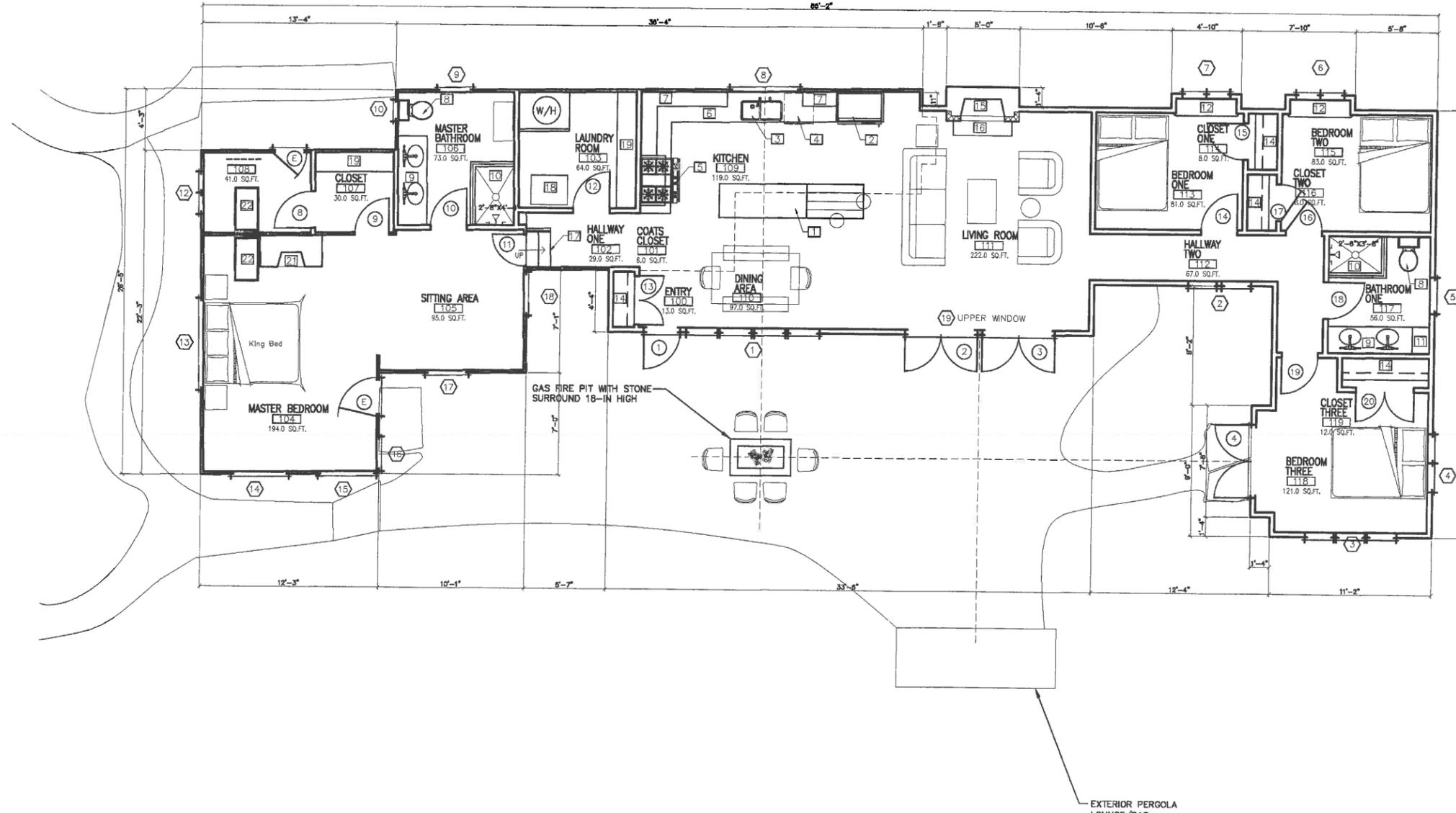
ROOM NOTES

- 100 5'-3" X 4'-1"
- 101 COATS CLOSET 1'-6" X 3'-9"
- 102 HALLWAY ONE 3'-8" X 7'-10"
- 103 LAUNDRY ROOM 8'-0" X 8'-1"
- 104 MASTER BEDROOM 11'-11" X 16'-2"
- 105 SEATING AREA 8'-4" X 8'-8"
- 106 MASTER BATHROOM 8'-0" X 8'-1"
- 107 MASTER CLOSET 8'-4" X 8'-4"
- 108 8'-6" X 7'-4"
- 109 KITCHEN 7'-5" X 15'-11"
- 110 DINING AREA 7'-7" X 12'-8"
- 111 LIVING ROOM 19'-0" X 18'-0"
- 112 HALLWAY TWO 3'-2" X 17'-10"
- 113 BEDROOM ONE 8'-0" X 10'-2"
- 114 CLOSET ONE 8'-0" X 10'-10"
- 115 BEDROOM TWO 8'-0" X 10'-4"
- 116 CLOSET TWO 2'-0" X 3'-10"
- 117 BATHROOM ONE 8'-0" X 8'-0"
- 118 BEDROOM THREE 8'-8" X 10'-8"
- 119 CLOSET THREE 2'-0" X 8'-0"

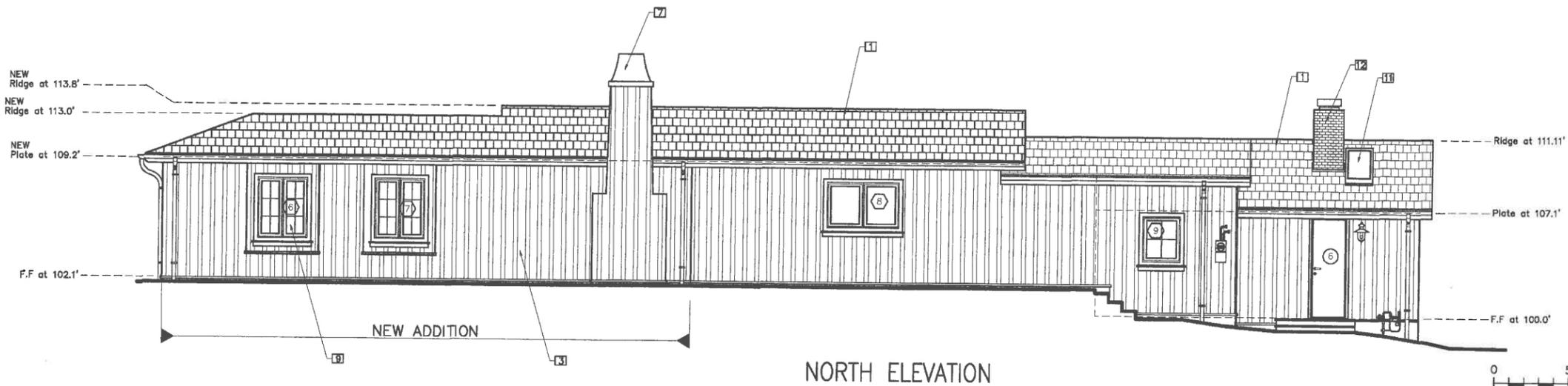
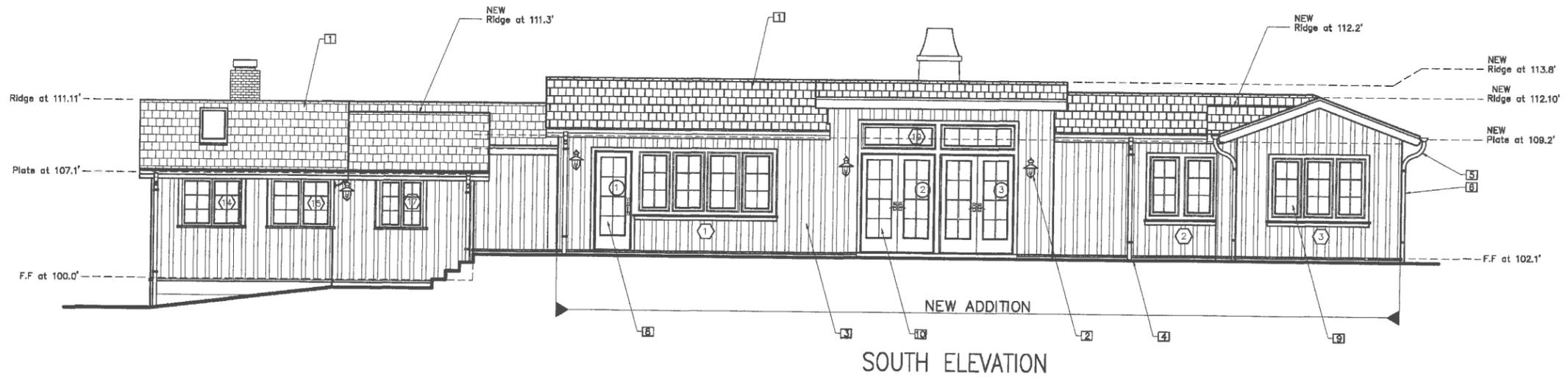
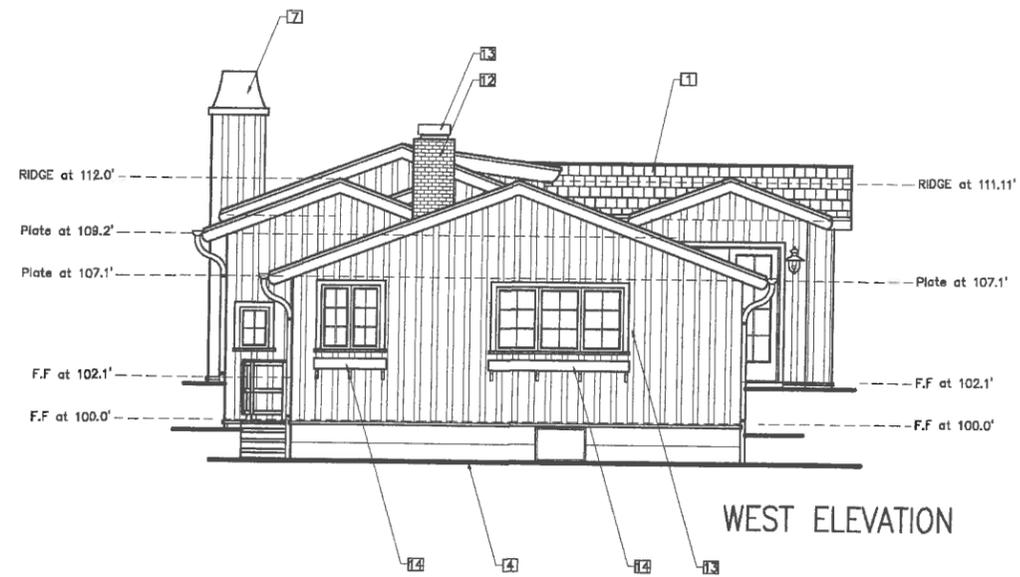
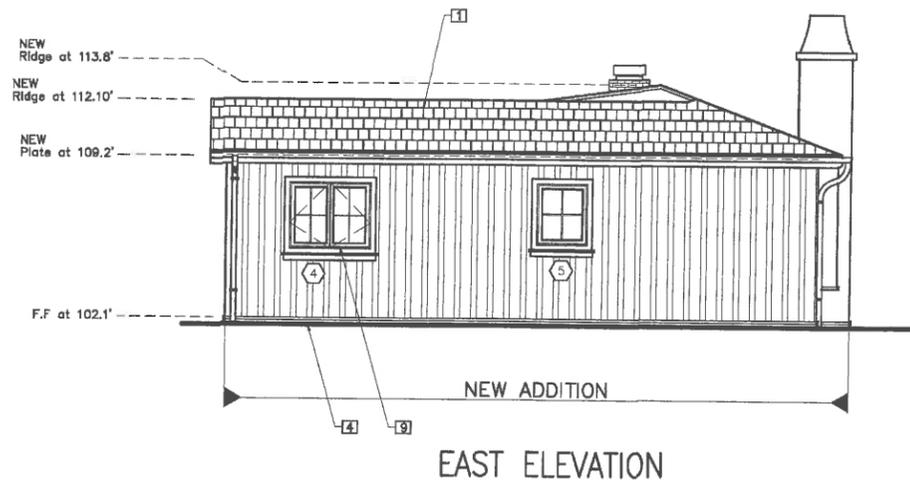
KEY NOTES

- 1 ISLAND W/ SEATING AREA
- 2 36" BUILT-IN ALL REFRIGERATOR W/GLASS DOOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 3 DOUBLE KITCHEN SINK W/GARBAGE DISPOSAL.
- 4 SINGLE FAUCET WITH PULL OUT
- 5 DISH WASHER SPACE
- 6 SET RANGE OVER FUEL RANGE VENTILATED W/ROD ABOVE.
- 7 48" PER USER COUNTER TOP WITH BACKSPLASH
- 8 UPPER CABINETS
- 9 WATER CLOSET TO BE MAXIMUM 1.58 GALLONS PER FLUSH PER C.F.D. 402.3.
- 10 BATHROOM SINK W/36" HIGH VANITY WITH 30" X 16" W/O BASKET/CASE.
- 11 SHOWER PER PLAN
- 12 BUILT-IN LINEN CAB.
- 13 BUILT-IN WINDOW SEAT
- 14 BUILT-IN DECK
- 15 3" DBL RODS & ONE 2" ROD ONE SHELF
- 16 NEW FIREPLACE
- 17 NEW STONE HEARTH
- 18 TWO STEPS EXISTING
- 19 STAKED WASHER & DRYER
- 20 BUILT-IN SHELVES
- 21 LEFT ISLAND
- 22 EXISTING FIREPLACE
- 23 EXISTING SKYLIGHTS

- ⊖ DENOTES WINDOW NUMBER, SEE WINDOW SCHEDULE
- ⊙ DENOTES DOOR NUMBER, SEE DOOR SCHEDULE



FLOOR AREA	
MAIN LEVEL	674.7 SQ.FT.
ADDITION	849.4 SQ.FT.
TOTAL	1,524.1 SQ.FT.



KEY NOTES

- 1 ROOF: ASPHALT SHINGLE TO MATCHED EXISTING
- 2 LIGHT FIXTURE: PER SPECIFICATIONS, 150 LUMENS
- 3 SIDING: BOARD & BATTEN TO MATCHED EXISTING
- 4 GRADE WHERE OCCURS
- 5 SLUITERS: 8 INCH ROUND, COPPER, WITH A 2% SLOPE TO DOWN SPOUTS
- 6 DOWN SPOUTS: 3 INCH ROUND, COPPER
- 7 STANDARD CAP WITH CAGE AND FULL DOWN FLUE GUARD
- 8 ENTRY DOOR: WOOD DIVIDED LIGHTS
- 9 WINDOWS (TYP.): WOOD DIVIDED LIGHTS, WHERE SHOWN PER PLAN, PAINTED
- 10 DOORS (TYP.): WOOD DIVIDED LIGHTS, PAINTED
- 11 SKYLIGHT: EXISTING TO REMAIN
- 12 CHIMNEY: EXISTING FIRE BRICK
- 13 NEW FLUE FULL DOWN AND CAGE
- 14 EXISTING WOOD FLOWER BOX TO BE REPLACED



C.O.D.G.
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 P.O. BOX 3775 Corral, CA 93921
 OFFICE: 831.626.4148
 WWW.CODG.COM

REVISIONS OF THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS AUTHORIZED REPRESENTATIVE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

REVISIONS:

PROJECT: Residence
 O'Brien St. 5 S/e of 12th Ave.
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
 PROJECT NO. 16-04

ISSUE: 4-12-16
 DRAWN BY: A.J. Ortiz

PROPOSED ELEVATIONS





C.O.D.G.
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 P.O. BOX 3775 Corona, CA 92621
 OFFICE: 951.926.4146
 CLAUDIOORTIZINC.COM
 WWW.CODG.COM

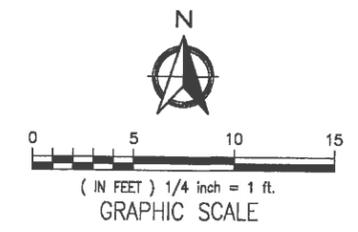
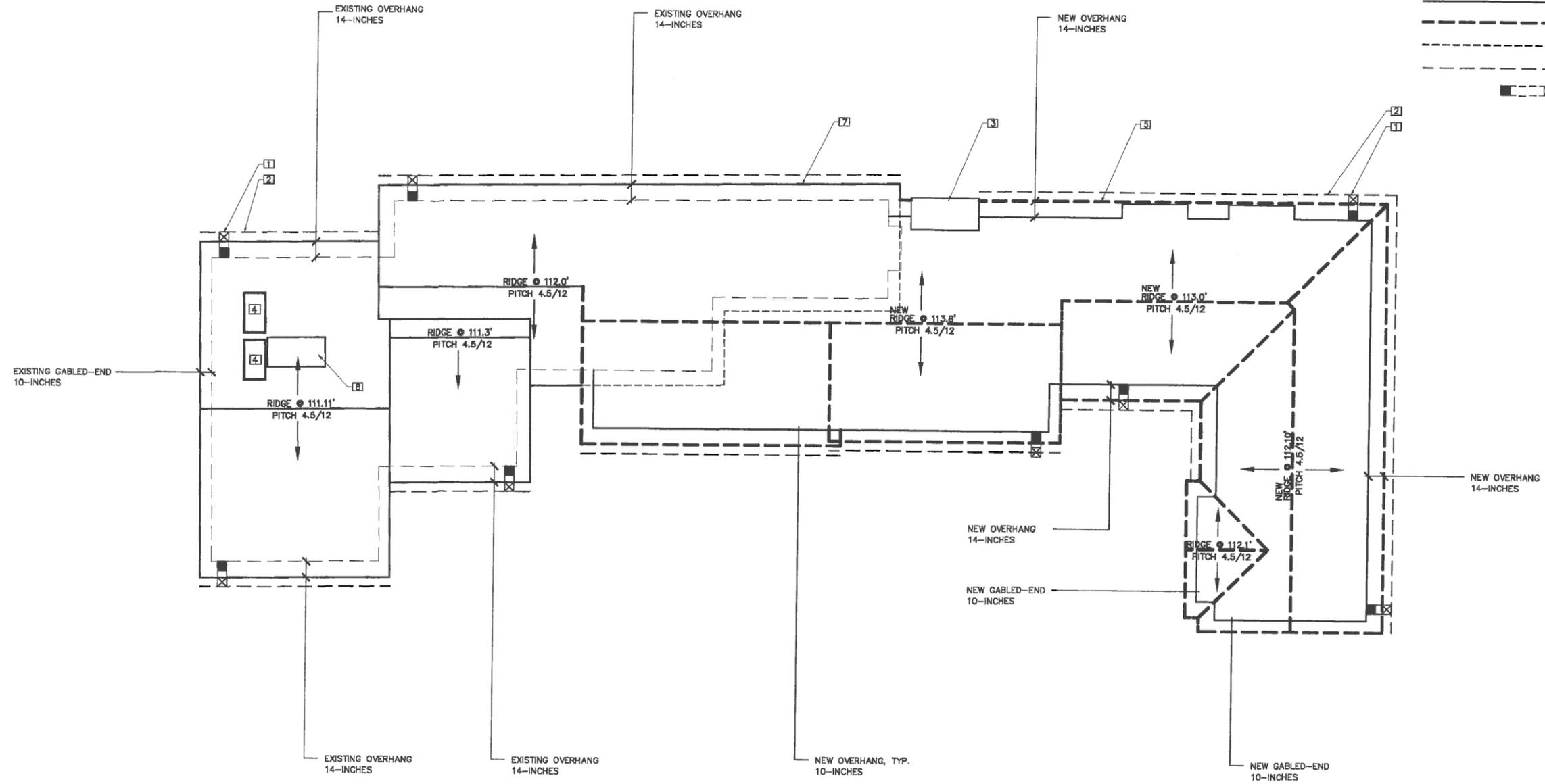
REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR ENGINEER OF RECORD. THE ARCHITECT OR ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE INFORMATION PROVIDED HEREON. THE ARCHITECT OR ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE INFORMATION PROVIDED HEREON. THE ARCHITECT OR ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE INFORMATION PROVIDED HEREON.

KEY NOTES

- 1] DOWNSPOUTS
- 2] GUTTERS W/ 2% SLOPE
- 3] NEW CHIMNEY
- 4] EXISTING SKYLIGHT TO REMAIN
- 5] NEW ROOF LINE SHOWN THICK DASHED LINE
- 6] EXISTING ROOF LINE SHOWN THICK SOLID LINE
- 7] EXISTING ROOF LINE TO BE REMOVED SHOWN THIN DASHED LINE
- 8] EXISTING CHIMNEY

LEGEND

- SLOPE DIRECTION ARROW
- ROOF LINE: EXISTING THICK SOLID LINE
- - - ROOF LINE: PROPOSED THICK DASHED LINE
- - - ROOF LINE: EXISTING ROOF LINE TO BE REMOVED THIN DASHED LINE
- - - GUTTERS
- ⊠ DOWNSPOUTS W/2% SLOPE



REVISONS:

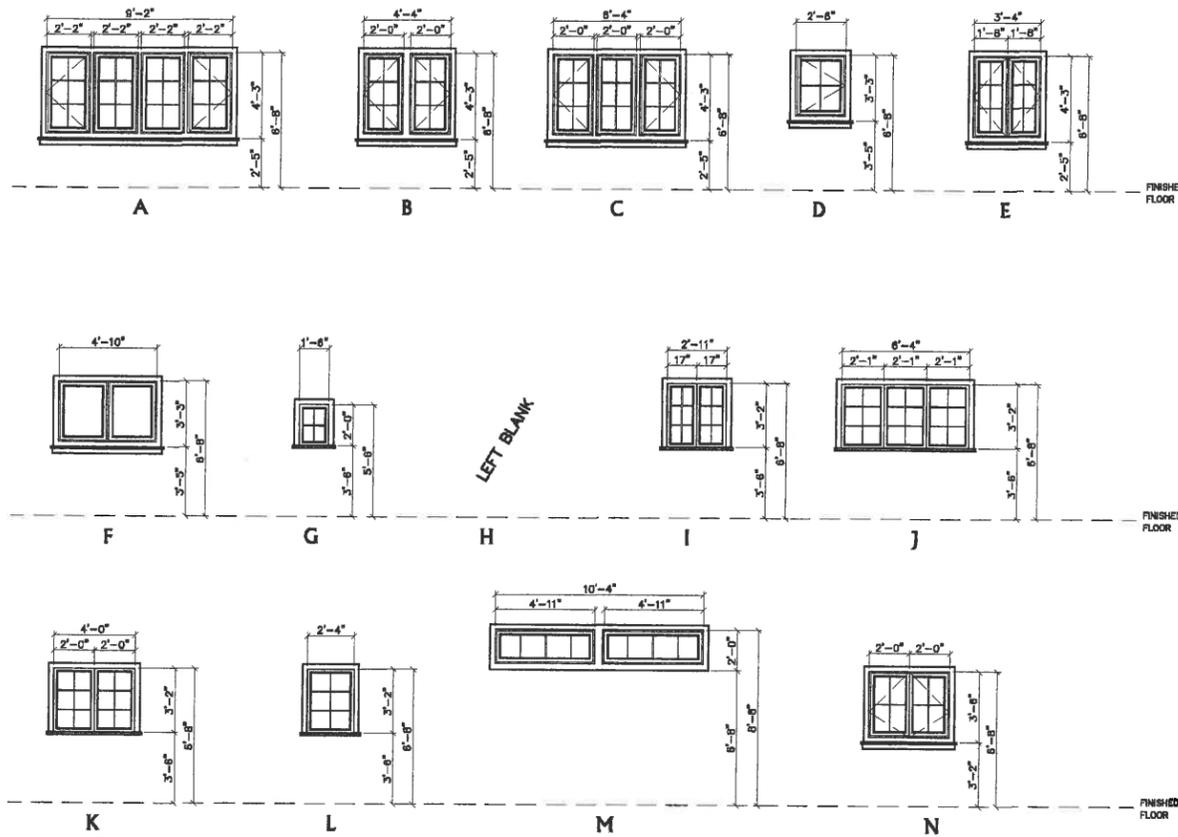
PROJECT: Residence
 O'Brien St. 5 S/e of 12th Ave.
 Lincoln St. 136 LOTS: 12
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
PROJECT NO.
 16-04

ISSUE:
 4-8-16
DRAWN BY:
 A.J.Ortiz

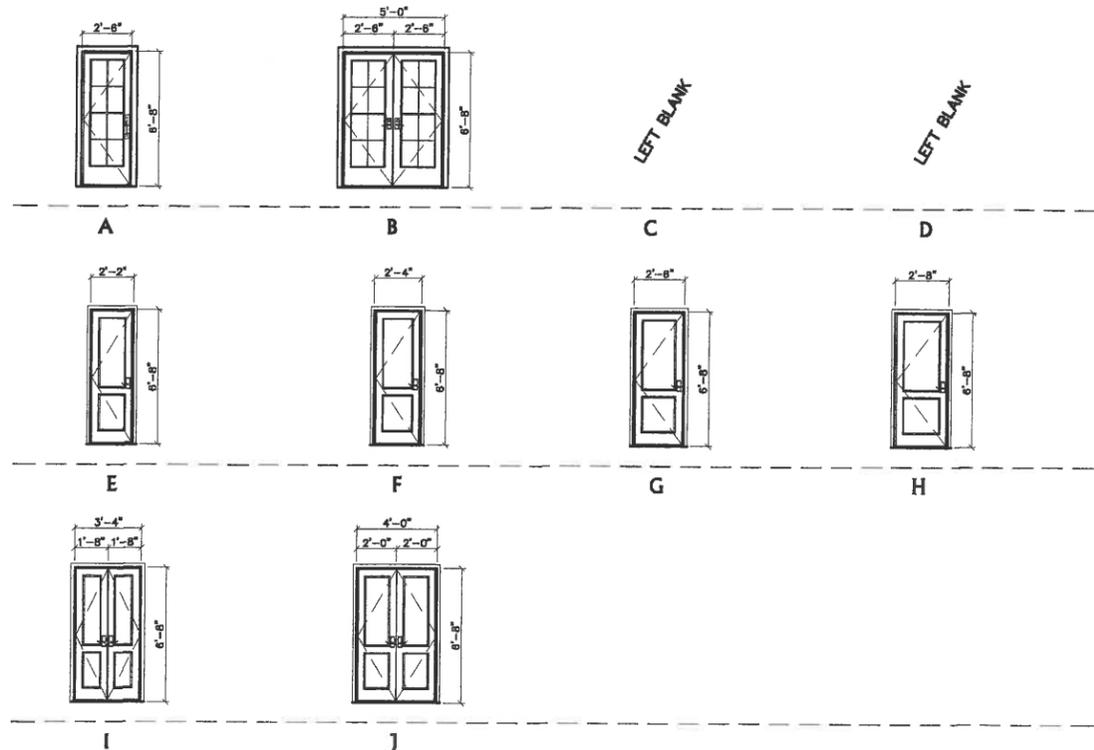
EXISTING & PROPOSED ROOF PLANS

SCALE: 1" = 1/4"

Window Elevations Types



Door Elevations Types



Window Schedule

MAIN DWELLING	NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	GLAZING	TEMPERED	SCREEN	DETAIL SHEET #		
										DETAILS		
										THRESHOLD	JAMB	HEAD
	1	DINING ROOM	A	9'-2" X 4'-3"	WOOD-UNCLAD P	CASEMENT/FIXED/FIXED/CASEMENT	YES	YES	YES			
	2	HALLWAY TWO	B	4'-4" X 4'-3"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	3	BEDROOM THREE	C	8'-4" X 4'-3"	WOOD-UNCLAD P	CASEMENT/FIXED/CASEMENT	YES	YES	YES			
	4	BEDROOM THREE	N	4'-0" X 3'-6"	WOOD-UNCLAD P	CASEMENT/FIXED/CASEMENT	YES	YES	YES			
	5	BATHROOM ONE	D	2'-8" X 3'-3"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	6	BEDROOM TWO	E	3'-4" X 4'-3"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	7	BEDROOM ONE	E	3'-4" X 4'-3"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	8	KITCHEN	F	4'-10" X 3'-3"	WOOD-UNCLAD P	FIXED	YES	YES	NO			
	9	MASTER BATHROOM	D	2'-6" X 3'-3"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	10	MASTER BATHROOM	G	1'-8" X 2'-0"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	11	LEFT BLANK										
	12	---	I	2'-11" X 3'-2"	WOOD-UNCLAD P	FIXED	YES	YES	NO			
	13	MASTER BEDROOM	J	6'-4" X 3'-2"	WOOD-UNCLAD P	FIXED	YES	YES	NO			
	14	MASTER BEDROOM	K	4'-0" X 3'-2"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	15	MASTER BEDROOM	K	4'-0" X 3'-2"	WOOD-UNCLAD P	CASEMENT	YES	YES	YES			
	16	MASTER BEDROOM	L	2'-4" X 3'-2"	WOOD-UNCLAD P	FIXED	YES	YES	YES			
	17	SEATING AREA	I	2'-11" X 3'-2"	WOOD-UNCLAD P	FIXED	YES	YES	NO			
	18	SEATING AREA	I	2'-11" X 3'-2"	WOOD-UNCLAD P	FIXED	YES	YES	NO			
	19	LIVING ROOM	M	10'-4" X 2'-0"	WOOD-UNCLAD P	FIXED	YES	YES	NO			

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENINGS.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- WINDOW WOOD UNITS TO BE RECEIVED.
- ALL OPERABLE WINDOWS TO HAVE SCREENS AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- SINGLE PANE LAMINATED GLASS (1/8" THK. GL. - FILM - 1/8" THK. GL.) AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2" INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATION SHEETS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENINGS SEE ELEVATION SHEETS

Window Manufacturer:

MANUFACTURE:
ADDRESS:
CITY, STATE, ZIP:
PHONE:
FAX:

Glazing Legend

TYPE 1 - TEMPERED GLAZING PER C.B.C. 2406.4

Symbols



Abbreviations

- N/A --- NOT APPLICABLE
- G.C. --- GENERAL CONTRACTOR
- P --- PAINT
- ST --- STAIN
- FF --- FACTORY FINISH
- I.D. --- INTERIOR DESIGN
- S --- SEALED
- MFR. --- MANUFACTURER
- FIN. --- FINISH
- NAT. --- NATURAL

Hardware Manufacturer:

MANUFACTURE:
ADDRESS:
CITY, STATE, ZIP:
PHONE:
FAX:

Door Schedule

MAIN DWELLING	NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	GLAZING	TEMPERED	DETAIL SHEET #			
									DETAILS			
									THRESHOLD	JAMB	HEAD	
	1	ENTRY	A	2'-6" X 6'-8"	WOOD P	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
	2	LIVING ROOM	B	PER 2'-6" X 6'-8"	WOOD P	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
	3	LIVING ROOM	B	PER 2'-6" X 6'-8"	WOOD P	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
	4	BEDROOM THREE	B	PER 2'-6" X 6'-8"	WOOD P	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
	5	LEFT BLANK										
	6	LEFT BLANK				FLUSHED / PANELED DOOR	OUTSIDE	YES	YES			
	7	LEFT BLANK										
	8	---	F	2'-4" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	9	MASTER CLOSET	H	2'-8" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	10	MASTER BATHROOM	H	2'-8" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	11	SEATING AREA	F	2'-2" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	12	MUD-ROOM	G	2'-8" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	13	COATS CLOSET	I	PER 1'-8" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	14	BEDROOM ONE	G	2'-6" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	15	CLOSET ONE	G	2'-6" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	16	BEDROOM TWO	G	2'-6" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	17	CLOSET TWO	G	2'-6" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	18	BATHROOM ONE	G	2'-6" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	19	BEDROOM THREE	G	2'-6" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			
	20	CLOSET THREE	J	PER 2'-0" X 6'-8"	WOOD P	FLUSHED / PANELED DOOR	INSIDE	NO	NO			

Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5" X 1.6" DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS: SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH TO BE: EXTERIOR: INTERIOR: MGS:
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED SINGLE GLAZING PANE.

Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATION SHEETS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENINGS SEE ELEVATION SHEETS

Window Manufacturer:

MANUFACTURE:
ADDRESS:
CITY, STATE, ZIP:
PHONE:
FAX:

Symbols



Glazing Legend

TYPE 1 - TEMPERED GLAZING PER C.B.C. 2406.4

Abbreviations

- N/A --- NOT APPLICABLE
- G.C. --- GENERAL CONTRACTOR
- P --- PAINT
- ST --- STAIN
- FF --- FACTORY FINISH
- I.D. --- INTERIOR DESIGN
- S --- SEALED
- MFR. --- MANUFACTURER
- FIN. --- FINISH
- NAT. --- NATURAL



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC
P.O. BOX 3775 COTTAGE CA 93021
OFFICE: 805.926.4146
WWW.CODGONLINE.COM

REVISIONS:
1. 01/10/2010: REVISED WINDOW SCHEDULES TO REFLECT CHANGES TO THE PROJECT.
2. 02/10/2010: REVISED WINDOW SCHEDULES TO REFLECT CHANGES TO THE PROJECT.
3. 03/10/2010: REVISED WINDOW SCHEDULES TO REFLECT CHANGES TO THE PROJECT.
4. 04/10/2010: REVISED WINDOW SCHEDULES TO REFLECT CHANGES TO THE PROJECT.
5. 05/10/2010: REVISED WINDOW SCHEDULES TO REFLECT CHANGES TO THE PROJECT.

REVISIONS:

PROJECT:
O'Brien Residence
Lincoln St. 5 s/e of 12th Ave.
BLOCK: 136 LOTS: 12
APN: 010-272-016-000
PROJECT NO.
16-04

ISSUE:
4-12-16

DRAWN BY:
A.J.Ortiz

PROPOSED
WINDOW & DOOR
SCHEDULES

SCALE: 1" = 1/4"

11 41



SOUTH DECK "A"
 MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: SET ON FOOTINGS



SOUTH REAR PATIO "B"
 MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: SET ON SAND



WALKWAY "C"
 MATERIAL: PAVERS
 FINISH: NATURAL
 HEIGHT: SET ON SAND



DRIVEWAY "D"
 MANUFACTURE: PAVERS
 COLOR: NATURAL
 INSTALLATION: SET ON SAND



WALKWAY "E"
 MANUFACTURE: CONCRET
 FINISH: NATURAL
 INSTALLATION: AS NOTED ON SITE PLAN



6-FOOT FENCE "1"
 MATERIAL: WOOD
 FINISH: NATURAL
 HEIGHT: AS NOTED ON SITE PLAN



6-FOOT FENCE "2"
 MATERIAL: WOOD
 FINISH: NATURAL
 HEIGHT: AS NOTED ON SITE PLAN



6-FOOT FENCE "3"
 MATERIAL: WOOD
 FINISH: NATURAL
 HEIGHT: AS NOTED ON SITE PLAN



6-FOOT FENCE "4"
 MATERIAL: WOOD
 FINISH: NATURAL
 HEIGHT: AS NOTED ON SITE PLAN



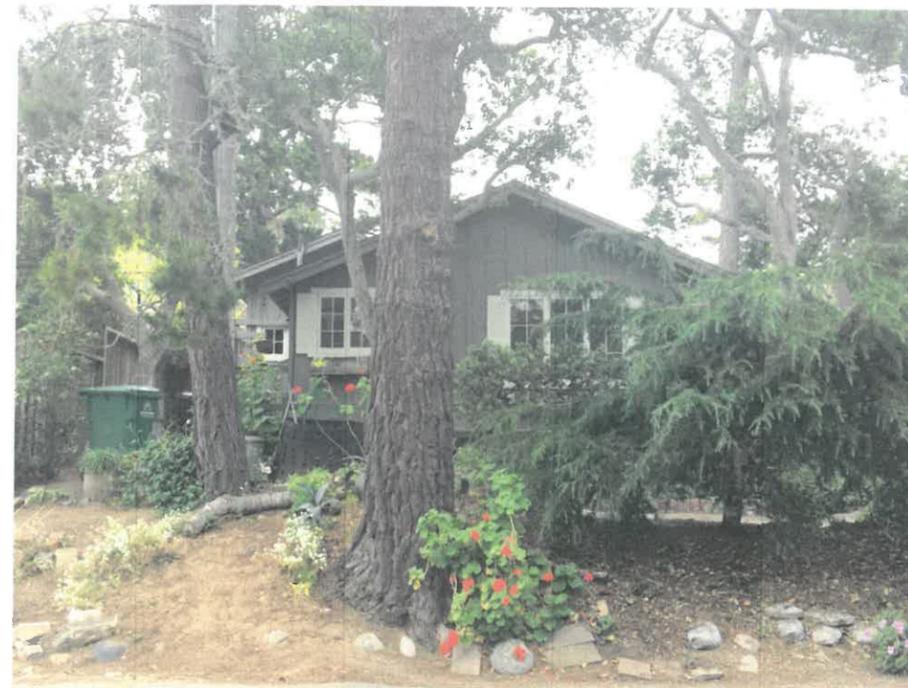
6-FOOT FENCE "5"
 MANUFACTURE: WOOD
 FINISH: NATURAL
 HEIGHT: AS NOTED ON SITE PLAN



4-FOOT FENCE "6"
 MATERIAL: WOOD
 FINISH: NATURAL
 HEIGHT: AS NOTED ON SITE PLAN



4-FOOT FENCE "7"
 MATERIAL: WOOD
 FINISH: NATURAL
 HEIGHT: AS NOTED ON SITE PLAN



FRONT STREET ELEVATION



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC
 P.O. BOX 3775, COTTRELL, CA 95921
 PHONE: 916.556.4148
 CLAUDIO@CODG.COM
 WWW.CODG.COM

PROFESSIONAL DESIGN SERVICES PROVIDED BY CLAUDIO ORTIZ DESIGN GROUP, INC. (CODG) UNDER CONTRACT TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

REVIONS:

PROJECT:
 O'Brien Residence
 Lincoln St. 5 S/e of 12th Ave.
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
PROJECT NO.
 16-04

ISSUE:
 4-8-16
DRAWN BY:
 A.J.Ortiz

EXISTING MATERIALS

SCALE: 1/4" = 1'
12₄₂



FIXTURE "A"
 MANUFACTURE: OLD TOWN COLLECTION
 T24 COMPLIANT: YES
 COLOR: BRONZE
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB BELOW
 DIMENSIONS: 16"H X 10-1/2"W



FIXTURE "B"
 MANUFACTURE: UNKNOW
 T24 COMPLIANT: N/A
 COLOR: BLACK
 WATTS: 3 WATTS
 LUMENS: 200
 BULB TYPE: LED MODULE
 DIMENSIONS: 18"H X 7"W



BULB
 MANUFACTURE: PHILLIPS
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: B11 LED SOCKET



PATIO & WALKWAYS "C"
 MANUFACTURE: STONE
 COLOR: NATURAL



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC
 P.O. BOX 3775, Cerritos, CA 93921
 CLAUDIO@CODG.COM
 WWW.CODG.COM

PROPOSED MATERIALS AND FINISHES ARE SUBJECT TO THE DESIGNER'S DISCRETION AND THE CLIENT'S APPROVAL. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

REVIONS:

PROJECT: O'Brien Residence
 Lincoln St. S S/e of 12th Ave.
 BLOCK: 136 LOTS: 12
 APN: 010-272-016-000
PROJECT NO. 16-04

ISSUE: 4-8-16
DRAWN BY: A.J.Ortiz

PROPOSED MATERIALS

SCALE: 1" = 1/4"

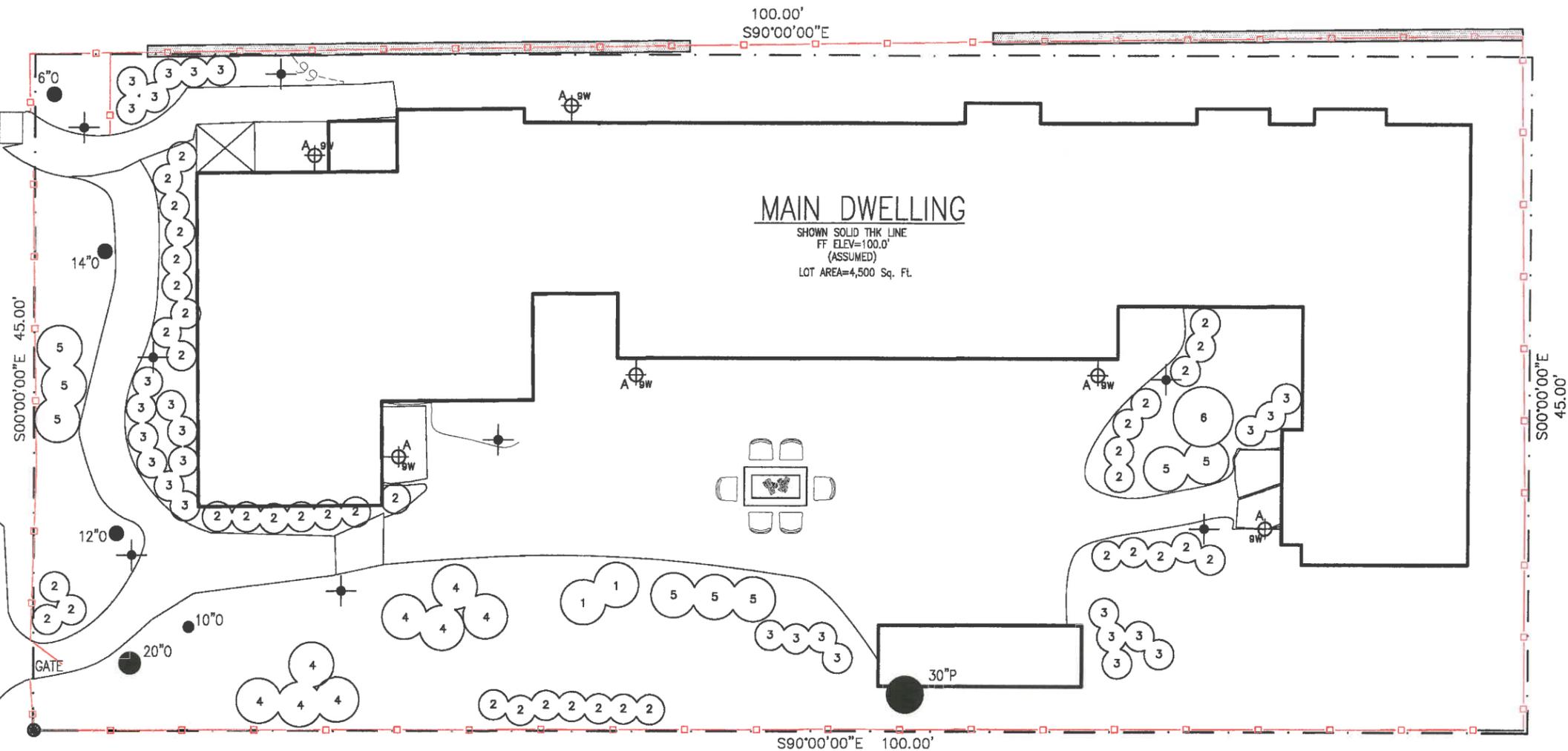
Lincoln Street EDGE OF PAYMENT

WM

18"P

24"P

6"P



MAIN DWELLING

SHOWN SOLID THK LINE
FF ELEV=100.0'
(ASSUMED)
LOT AREA=4,500 Sq. Ft.

NEIGHBOR BUILDING



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC.
P.O. BOX 3775, CERRITOS, CA 94521
CLAUDIO@CODG.COM
WWW.CODG.COM

THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED OR THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED OR THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED.

REVISIONS:

PROJECT: Residence
O'Brien St. 5 S/e of 12th Ave.
Lincoln St. 136 LOTS: 12
BLOCK: 136 LOTS: 12
APN: 010-272-016-000
PROJECT NO.
16-04

ISSUE:
4-B-16

DRAWN BY:
A.J.Ortiz

LIGHT KEY

◆ PATH LIGHT, 3 WATTS LED, SEE FIXTURE "3" ON SHEET 13
MAY NOT BE SPACED CLOSER THAN 10- FEET APART

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT); I.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT); I.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

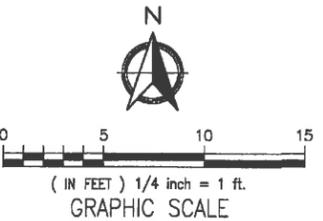
IRRIGATION SYSTEM

1" ANTISIPHON DEVICE
1" ELECTRIC VALVES
FILTER PLUS REGULATOR FOR EACH VALVE
ELECTRIC CONTROLLER
EACH PLANT TO BE ON DRIP SYSTEM
ALL PLANTS WILL BE PLANTED WITH AGRIFORM TABS FOLLOWING MANUFACTURE DIRECTIONS.
COMPOST WILL BE MIXED WITH SOIL AT 2:1

PLANT INDEX

No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	ROSMARINUS	ROSMARY	5 GAL
6	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL
			1 GAL

◆ PATH LIGHT, 3 WATTS LED SEE SHEET - DET. "B"



PROPOSED
LANDSCAPE PLAN

SCALE: 1/4" = 1'

L1 144

Staff has scheduled this application for conceptual review. The primary purpose of this meeting is to review and consider the site planning, privacy and views, and mass and scale related to the project. However, the Commission may provide input on other aspects of the design.

PROJECT DATA FOR A 5,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	1,800 sf (43%)	NA	1,800 sf (45%)
Site Coverage	556 sf ¹	NA	556 sf
Trees	3 Upper /1 Lower (recommended)	1 lower (10" oak); one 6" toyon; one 5" ornamental plum	One oak and removal of the toyon and plum
Ridge Height (1 st /2 nd)	18'/24'	NA	Does not exceed 17'
Plate Height (1 st /2 nd)	12'/18'	NA	Does not exceed 11'
Setbacks	Minimum Required	Existing	Proposed
Front	15'	NA	19'-4" to residence 5'-0" to garage
Composite Side Yard	10' (25%)	NA	Min: 10.0 ft (25%)
Minimum Side Yard (residence/garage)	3'	NA	Min. North Side: 3' Min. South Side: 5' / 3'
Rear	15'	NA	Min: 3'

STAFF ANALYSIS

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining “a forested image on the site” and for new construction to be at least six feet from significant trees.

The City Forester and Planning staff reviewed the property in April 2016 as part of the City’s Site Assessment protocols and identified three trees on the property, of which only the oak tree is considered significant. The trees are in the front yard and include one lower canopy tree (10" oak), one 6" Toyon and one 5" ornamental plum that are all grouped together on the south boundary line. There is one 36-inch Monterey pine in the City’s right-of-way, which will be protected during construction. The City Forester has indicated that an upper canopy tree should be planted in the back yard. The project plans also show a new oak tree will be planted in the front yard. Staff has

¹ Accounts for site coverage bonus if at least 50% of all site coverage is of permeable or semi-permeable materials.

drafted a condition requiring that one new upper canopy tree be planted in the back yard. In addition, the plum and Toyon trees are proposed to be removed.

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that *“designs should preserve reasonable solar access to neighboring parcels”* and *“maintain privacy of indoor and outdoor spaces in a neighborhood”* and *“maintain view opportunities.”*

With the proposed residence being one-story, and adjacent residences also being one-story, privacy issues with the neighbors does not appear to be an issue. Proposed window size and placement are shown in the project plans. All proposed windows and doors are wood clad with many with multiple panes. There is one patio to be located on the south side of the residence and one deck in the back yard (west side) off a bedroom.

The proposed project was also evaluated relative to solar access. The proposed design does not change the vertical or horizontal profile of the residence such that there would be a change in solar access to the neighboring properties to the north or south.

Through the placement, location and size of windows, patios, doors and decks, the design respects the rights to reasonable privacy on adjoining sites. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 5.1 through 5.3.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourages a building’s mass to relate *“to the context of other homes nearby”* and to *“minimize the mass of a building as seen from the public way or adjacent properties.”* Further, these guidelines state that *“a building should relate to a human scale in its basic forms.”*

The proposed new residence and detached garage are each one-story and are setback appropriately per code and the design provides varied massing, relief and scale that creates proportion appropriate for the site and neighborhood. The result is a simple character with discreet rectangular building masses. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 7.1 through 7.6.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that *“Shallow to moderately pitched roofs are appropriate on one-story buildings. More steeply pitched roofs with low plate lines can be used on two-story buildings.”* The Guidelines emphasize using *“restraint”* and *“simplicity”* in building forms, which should not be complicated, and roof lines,

which should “*avoid complex forms.*” Walls should be kept simple in the extent of variation in planes.

The project includes a mix of gable and shed roofs appropriately sloped (8:12 on gable roof elements and 4:12 on the two shed roof elements) and located to avoid complexity but create an interesting but simple design. Windows and doors are wood and gutters are round copper. Two skylights are proposed on the south aspect of the master bathroom. In staff’s opinion, the proposed residence meets the objectives of Residential Design Guidelines 8.1 through 8.3.

Site Coverage/Landscaping: Per Municipal Code Section 17.10.030.C, site coverage shall be limited to a maximum of 22 percent of the base floor area allowed for the site. In addition, if at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area may be allowed. For this 4,000 square foot lot the total amount of coverage is allowed to be 556 square feet; the project plans are consistent with the allowed coverage. The plans show 556 square feet of site coverage. The applicant will remove existing vegetation and replace it with new landscaping as shown in Sheet L-1 of the Project Plans. In staff’s opinion, the proposed site coverage is consistent with the Municipal Code.

Exterior Lighting: With regard to light fixtures, Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture.

In addition, the City’s Residential Design Guidelines, Section 11.8, states an objective to: “*Preserve the low nighttime lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas. Appropriate locations may include building entries, gates, terraces, walkways, and patios,*” and “[...] *Point lights downward to reduce glare and avoid light pollution*”, “*Locate and shield fixtures to avoid glare and excess lighting as seen from the neighboring properties and from the street*”.

The applicant is proposing copper finished, lantern-style wall-mounted light fixtures. Style and location of this lighting are depicted on Sheet 8 of the Project Plans. These fixtures have a copper shroud around the light bulb to prevent glare and light pollution. A different light fixture will be

hanging at the front door portico as shown on Sheet 8 (Fixture B) of the Project Plans. The location of all fixtures are shown in Sheet Nos. 3, 5 and 6. Staff supports the proposed light fixtures and notes that they comply with the City requirements with regard to location and wattage. Landscape lighting is proposed as shown on Sheet L-1; six landscape fixtures are proposed.

Public ROW: The portion of the City Right-of-Way (ROW) between the front property line and edge of paving is in a natural state and contains no encroachments.

Alternatives: Staff has included draft findings that the Commission can adopt if the Commission accepts the overall design concept, including the architectural style of the building. However, if the Commission does not support the design, then the Commission could continue the application with specific direction given to the applicant and/or staff.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15303 (Class 3) – New Construction or Conversion of Small Units. The project includes the construction of one single-family residence in a residential zone, and therefore qualifies for a Class 3 exemption. The proposed residence does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Concept Acceptance
- Attachment C – Draft Recommendations/Conditions
- Attachment D – Project Plans

Attachment A – Site Photographs

East Elevation – front



West Elevation – back



Attachment B – Findings for Concept Acceptance

DS 16-172 (Entis)
 June 8, 2016
 Concept Findings
 Page 1

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE (CMC 17.64.80 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	✓	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	✓	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character, yet will not be viewed as repetitive or monotonous within the neighborhood context.	✓	
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	✓	
5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	✓	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	✓	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees.	✓	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	TBD	

9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	✓	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	✓	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	✓	

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):

1. Local Coastal Program Consistency: The project conforms with the certified Local Coastal Program of the City of Carmel-by-the Sea.	✓	
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public access.	✓	

Attachment C – Recommendations/Draft Conditions

DS 16-172 (Entis)

June 8, 2016

Page 1

Recommendations/Draft Conditions		
No.		
1.	The applicant shall submit a landscape plan for final Planning Commission review that includes a proposal for one new upper-canopy trees on the site.	
2.	A Monterey pine will be planted in the back yard.	

Entis Residence

New Single Family Residence
Carmel, California

A.P.N. 010-281-003-000
BLOCK: AA LOTS: 03



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC.
P.O. BOX 3775 Carmel, CA 93921
OFFICE: 831.226.4146
CLAUDIO@CODGINC.COM
WWW.CODGINC.COM

REVISIONS:

PROJECT DATA

LOT SIZE	4,000.0 SQ.FT.	
ZONING	R-1	
A.P.N.	010-281-003	
ADDRESS	BLOCK: AA LOTS: 03	
FLOOR AREA		
FAR ALLOWED	1,800.0 S.F.	45.0%
PROPOSED MAIN DWELLING	1,800.0 S.F.	
DETACHED GARAGE	200.0 S.F.	
TOTAL (E) GROSS FLOOR AREA:	1,800.0 S.F.	45.0%
SITE COVERAGE		
LAND COVERAGE ALLOWED	398.0 SQ.FT.	22.0% of F.A.R.
BONUS SITE COVERAGE	160.0 SQ.FT.	4.0% of SITE
TOTAL COVERAGE ALLOWED	556.0 SQ.FT.	13.9 %
PERVIOUS COVERAGE		
ENTRY WALKWAY	75.0 SQ.FT.	
WALKWAY	40.6 SQ.FT.	
DRIVEWAY	43.3 SQ.FT.	
SOUTH PATIO	298.3 SQ.FT.	
DECK	54.8 SQ.FT.	
TOTAL PERVIOUS COVERAGE	512.0 SQ.FT.	
IMPERVIOUS COVERAGE		
PORCH	30.0 SQ.FT.	
SOUTH STEPS	14.0 SQ.FT.	
TOTAL IMPERVIOUS COVERAGE	44.0 SQ.FT.	
TOTAL GROSS COVERAGE	556.0 SQ.FT.	

SHEET INDEX

1. COVER NOTES
2. TOPOGRAPHIC SURVEY
3. PROPOSED SITE PLAN
4. FLOOR PLAN
5. ELEVATIONS MAIN DWELLING
6. ELEVATIONS MAIN DWELLING, GARAGE ELEVATIONS & ROOF PLAN
7. WINDOW & DOOR SCHEDULES
8. PROPOSED MATERIALS
9. VOLUME ANALYSIS
10. STREETScape PLAN
11. LANDSCAPE PLAN

SCOPE OF WORK

1. DEMOLITION OF A 652 SQ.FT. SINGLE FAMILY DWELLING AND A 254.0 SQ.FT. DETACHED GARAGE.
2. CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH A DETACHED GARAGE.
3. PROPOSING ----- SQ.FT. OF HARDSCAPE

RECEIVED

MAY 23 2016

City of Carmel-by-the-Sea
Planning & Building Dept.

VICINITY MAP NOT TO SCALE



EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

PROJECT:
Entis Residence
Carmel, CA
BLOCK: AA LOTS: 03
APN: 010-281-003-000
PROJECT NO.
16-03

ISSUE:
4-27-16
5-23-16

DRAWN BY:
C.O.

FLOOR PLAN

SCALE: 1" = 1/4"



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC
 P.O. BOX 3775 Cerritos, CA 93921
 OFFICE: 831.626.4146
 CLAUDIO@CODG.COM
 WWW.CODG.COM

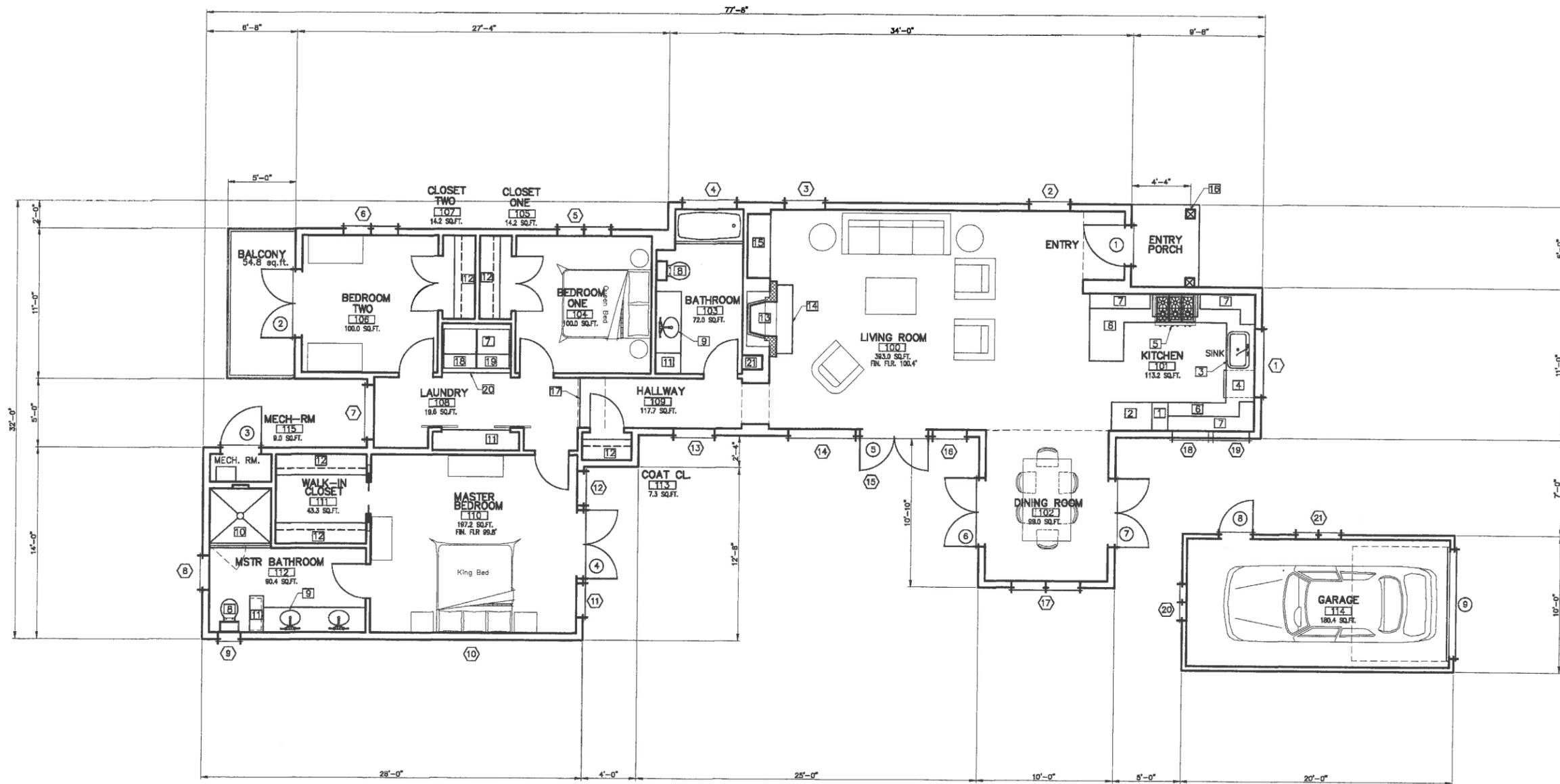
REVISIONS:
 1. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 2. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 3. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 4. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 5. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 6. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 7. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 8. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 9. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 10. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 11. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 12. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 13. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 14. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 15. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 16. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 17. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 18. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 19. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 20. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 21. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 22. REVISIONS TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. NO CHANGES SHALL BE MADE TO THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS:

PROJECT:
 Entis Residence
 Casanova, 2 S/W of 12th
 BLOCK: AA LOTS: 03
 APN: 010-281-003-000
 PROJECT NO.
 16-03

ISSUE:
 4-27-16
 5-23-16
 DRAWN BY:
 C.O.

FLOOR PLAN
 SCALE: 1" = 1/4"

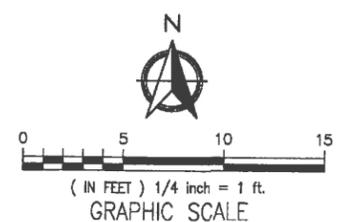


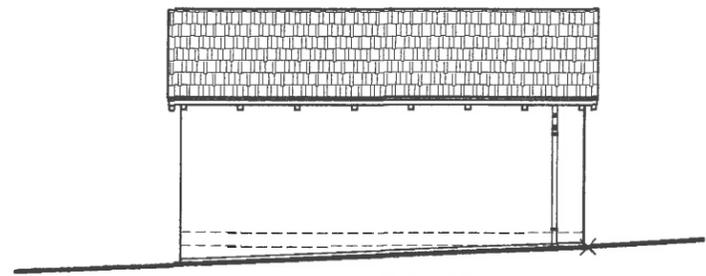
KEY NOTES

- | | |
|--|------------------------------------|
| 1 FULL-OUT PANTRY, FULL HEIGHT | 15 MEDIA CABINET: BUILT-IN, WOOD |
| 2 36" BUILT-IN ALL REFRIGERATOR, PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER. | 16 POST: 6X6 REDWOOD |
| 3 KITCHEN SINK W/GARBAGE DISPOSAL | 17 STEP: 7-INCH |
| 4 DISH WASHER SPACE | 18 WASHER |
| 5 36" RANGE W/ALL-FUEL RANGE, VENTILATED W/12" HOOD ABOVE, 42-INCH DEEP, COUNTER TOP | 19 DRYER |
| 6 42-INCH DEEP COUNTER TOP | 20 CABINET: 42-IN. HIGH WITH DOORS |
| 7 UPPER CABINETS | 21 NICHE: PLASTER BUILT-IN |
| 8 WATER CLOSET, TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.F.C. 402.3. | |
| 9 BATHROOM SINK 18-INCH HIGH VANITY WITH SHOWER FOR TUB BATH SPACE. | |
| 10 SHOWER PER PLAN | |
| 11 BUILT-IN LINEN CAB. | |
| 12 ONE 2" ROD ONE SHELF | |
| 13 FIREPLACE: 36" ISOKERN | |
| 14 HEARTH: Limestone ONE PIECE | |

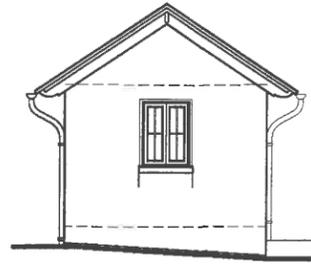
ROOM NOTES

- | | |
|------------------------------------|--|
| 100 LIVING ROOM
28'-0" X 16'-0" | 108 LAUNDRY
5'-0" X 3'-11" |
| 101 KITCHEN
12'-2" X 10'-0" | 109 HALLWAY
13'-2" X 3'-8" |
| 102 DINING ROOM
9'-0" X 11'-11" | 110 MASTER BEDROOM
13'-8" X 13'-0" |
| 103 BATHROOM
8'-4" X 12'-0" | 111 MASTER CLOSET
8'-8" X 8'-8" |
| 104 BEDROOM ONE
10'-0" X 10'-0" | 112 MASTER BATHROOM
10'-0" X 11'-8" |
| 105 CLOSET ONE
2'-4" X 8'-1" | 113 COAT CLOSET
3'-8" X 2'-0" |
| 106 BEDROOM TWO
10'-0" X 10'-0" | 114 GARAGE
9'-4" X 19'-4" |
| 107 CLOSET TWO
2'-4" X 8'-1" | 115 MECHANICAL ROOM
4'-5" X 2'-0" |
- ⊖ DENOTES WINDOW NUMBER, SEE WINDOW SCHEDULE
 ⊙ DENOTES DOOR NUMBER, SEE DOOR SCHEDULE

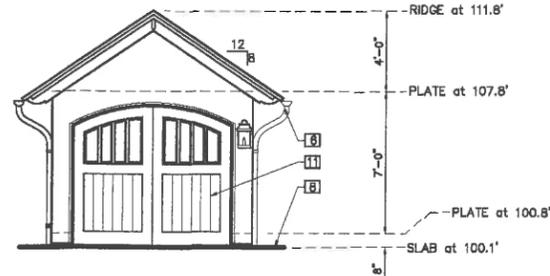




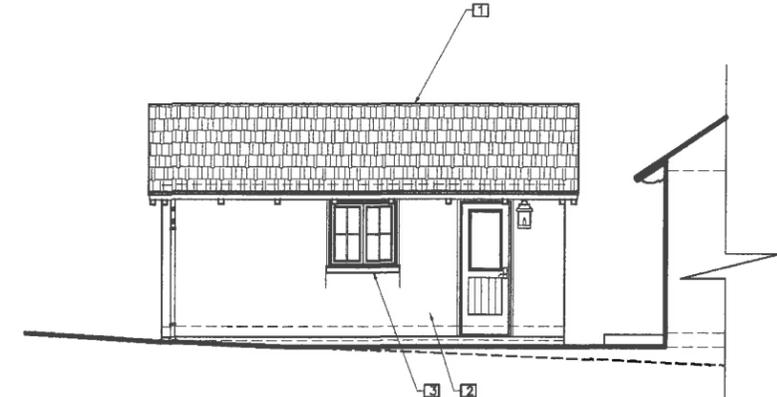
SOUTH ELEVATION



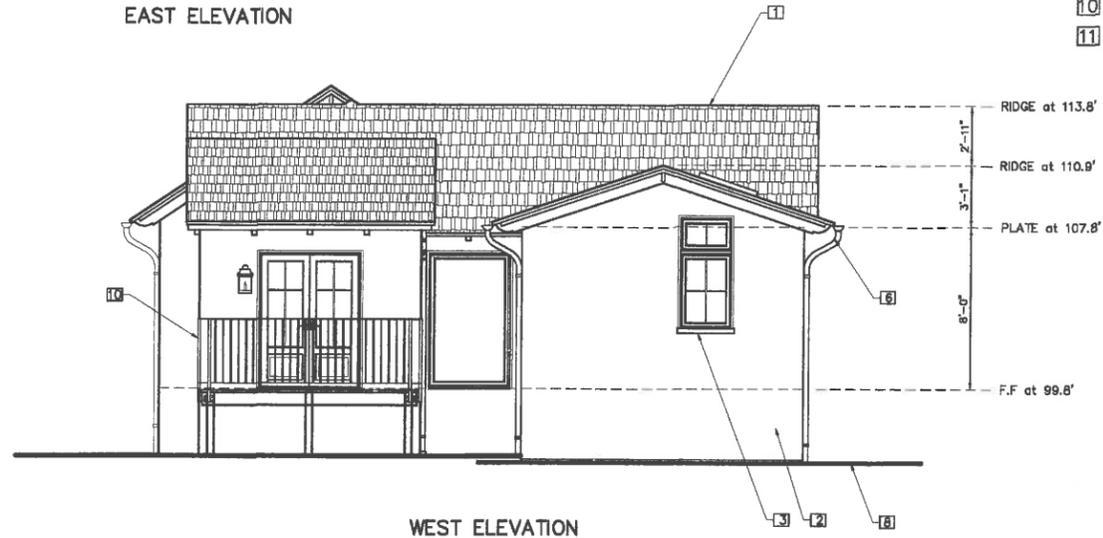
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

KEY NOTES

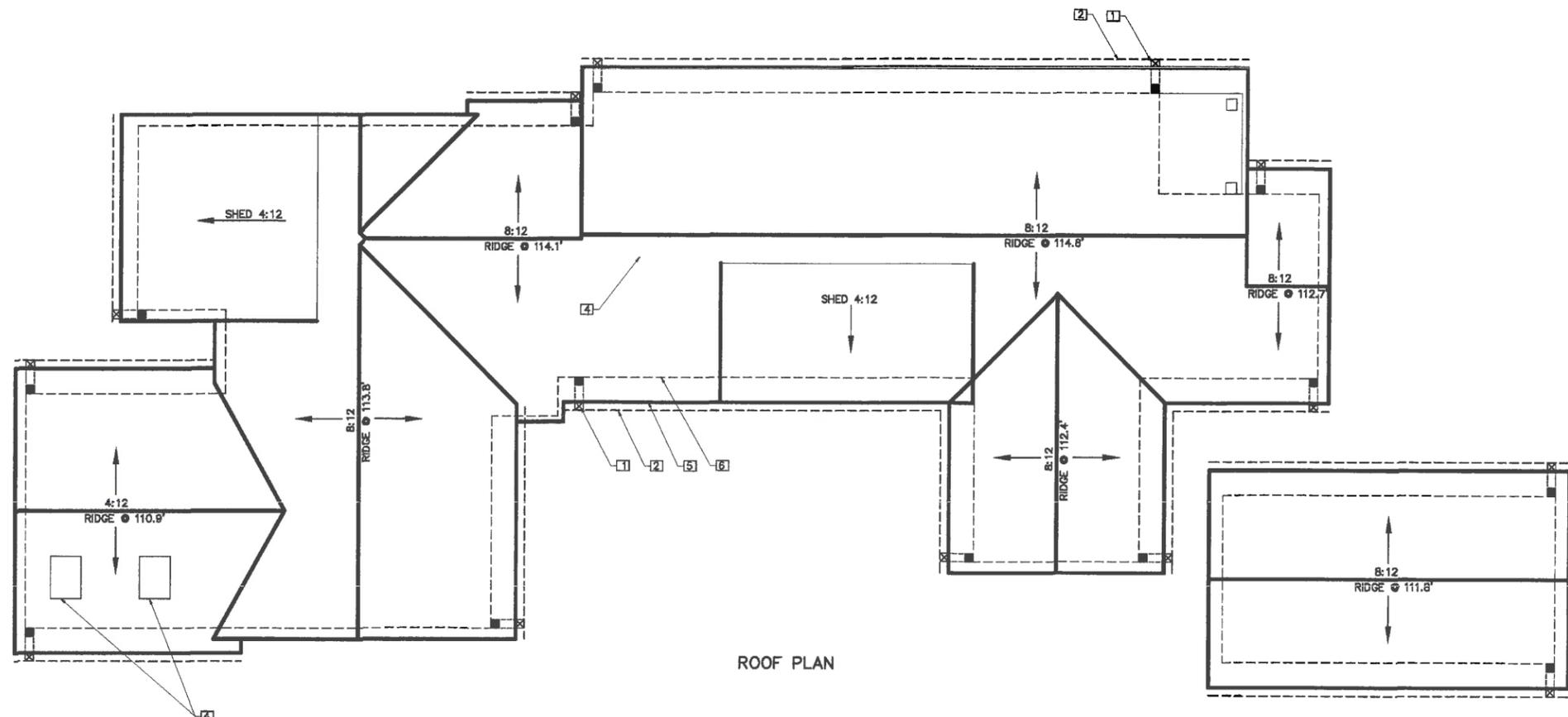
- 1 ROOF: WOOD CEDAR SHINGLES
- 2 SIDING: CEMENT PLASTER
- 3 WINDOWS & DOORS: WOOD
- 4 -
- 5 -
- 6 GUTTERS & DOWN SPOUT: 6-IN. ROUND COPPER GUTTERS AND 3-IN. DIA. DOWN SPOUT.
- 7 -
- 8 GRADE: WHERE OCCURS
- 9 SKYLIGHT 24X36
- 10 GUARDRAIL: 42-SIN. HEIGHT, WOOD CAP AND BALUSTERS, PAINTED.
- 11 GARAGE DOOR: ROLL-UP WOOD DOOR



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC.
 P.O. BOX 3775 Carmel, CA 93921
 OFFICE: 831.226.4148
 FAX: 831.226.4149
 WWW.CODGINC.COM

REVISIONS TO THIS DRAWING SHALL BE THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY OTHERS.

REVISIONS:



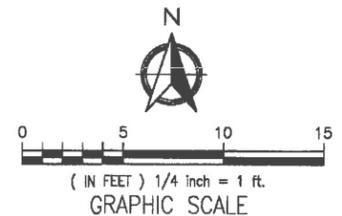
ROOF PLAN

KEY NOTES

- 1 DOWNSPOUTS
- 2 GUTTERS W/ 2% SLOPE
- 3 CHIMNEY
- 4 SKYLIGHT: 24x36
- 5 ROOF LINE SHOWN THICK SOLID LINE
- 6 BUILDING FOOTPRINT SHOWN THIN DASHED LINE

LEGEND

- SLOPE DIRECTION ARROW
- ROOF LINE: EXISTING THICK SOLID LINE
- ROOF LINE: PROPOSED THICK DASHED LINE
- ROOF LINE: EXISTING ROOF LINE TO BE REMOVED
- - - GUTTERS
- ☒ DOWNSPOUTS W/2% SLOPE



PROJECT: Entis Residence
 Casanova, 2 S/W of 12th
 BLOCK: — LOTS: —
 APN: 010-281-003-000
 PROJECT NO. 16-03

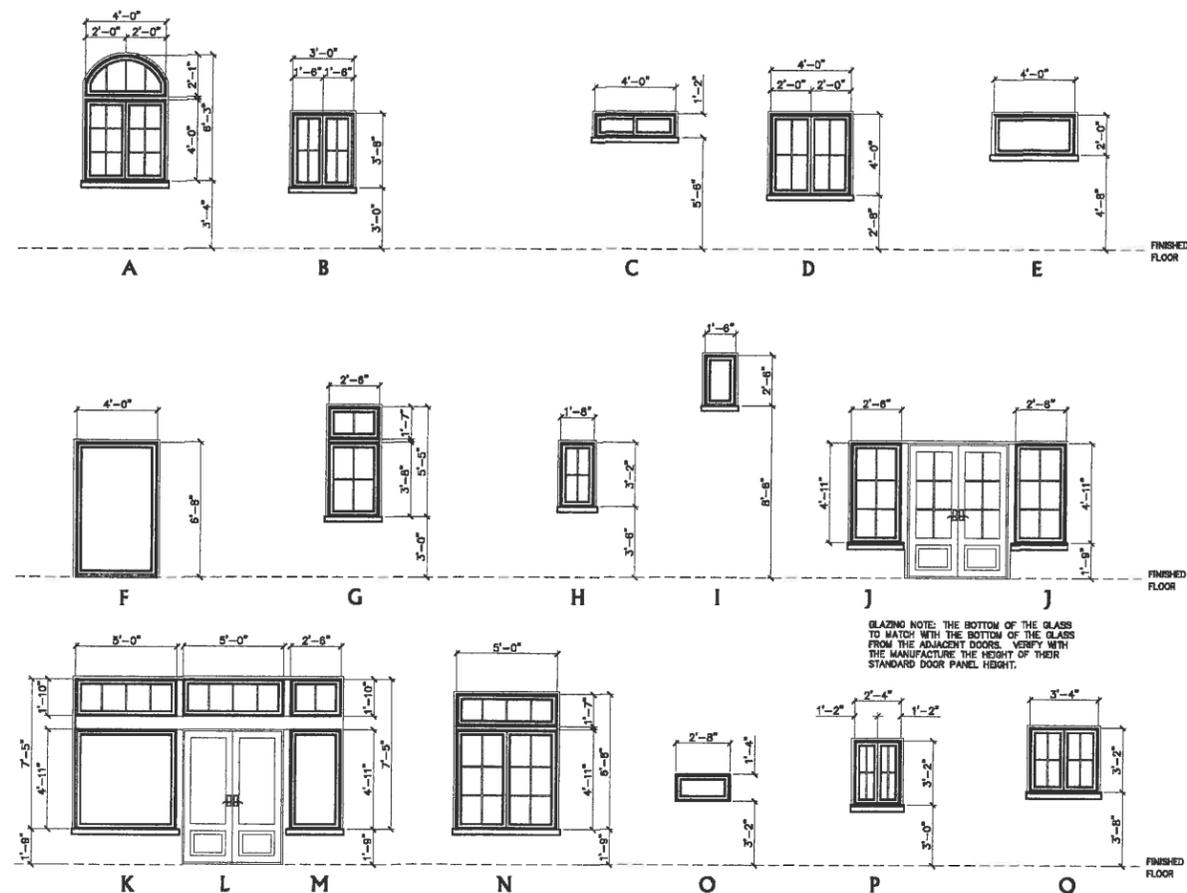
ISSUE: 4-27-16

MAIN DWELLING ELEV.,
 GARAGE ELEVATIONS
 & ROOF PLAN

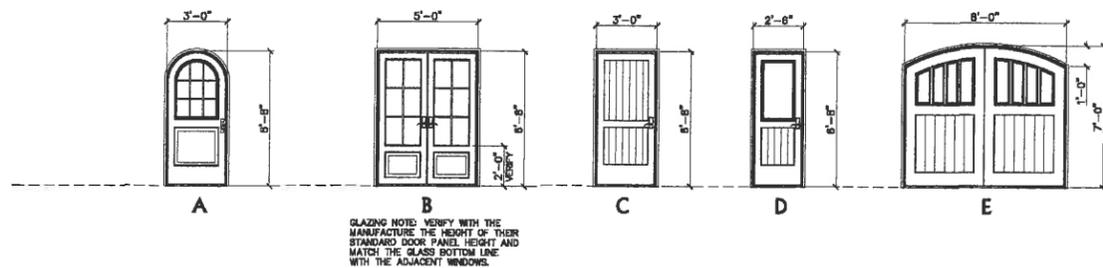
DRAWN BY: C.O.

SCALE: 1" = 1/4"

Window Elevations Types



Door Elevations Types



Window Schedule

MAIN DWELLING	NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	GLAZING	TEMPERED	SCREEN	DETAIL SHEET #			
										DETAILS			
										THRESHOLD	JAMB	HEAD	
MAIN LEVEL	1	KITCHEN	A	6'-3" X 4'-0"	WOOD-UNCLAD	P	CASEMENT LOWER/FIXED TOP	YES	YES	NO			
	2	LIVING ROOM	B	3'-0" X 3'-8"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			
	3	LIVING ROOM	B	3'-0" X 3'-8"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			
	4	BATHROOM	C	4'-0" X 1'-2"	WOOD-UNCLAD	P	SLIDER	YES	YES	NO			
	5	BEDROOM ONE	D	4'-0" X 4'-0"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			
	6	BEDROOM TWO	E	4'-0" X 2'-0"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			
	7	HALLWAY	F	4'-0" X 6'-8"	WOOD-UNCLAD	P	FIXED	YES	YES	NO			
	8	MASTER BATHROOM	G	2'-8" X 5'-5"	WOOD-UNCLAD	P	CASEMENT	YES	YES	NO			
	9	MASTER BATHROOM	H	1'-8" X 3'-2"	WOOD-UNCLAD	P	CASEMENT	YES	YES	NO			
	10	MASTER BEDROOM	I	1'-8" X 2'-6"	WOOD-UNCLAD	P	FIXED	YES	YES	NO			
	11	MASTER BEDROOM	J	2'-8" X 4'-11"	WOOD-UNCLAD	P	CASEMENT	YES	YES	NO			
	12	MASTER BEDROOM	J	2'-8" X 4'-11"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			
	13	HALLWAY	B	3'-0" X 3'-8"	WOOD-UNCLAD	P	CASEMENT	YES	YES	NO			
	14	LIVING ROOM	K	5'-0" X 7'-5"	WOOD-UNCLAD	P	CASEMENT BOTTOM/ FIXED TOP	YES	YES	NO			
	15	LIVING ROOM	L	5'-0" X 1'-10"	WOOD-UNCLAD	P	FIXED	YES	YES	NO			
	16	LIVING ROOM	M	2'-6" X 7'-5"	WOOD-UNCLAD	P	CASEMENT BOTTOM/ FIXED TOP	YES	YES	NO			
	17	DINING ROOM	N	5'-0" X 6'-8"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			
	18	KITCHEN	O	2'-8" X 1'-4"	WOOD-UNCLAD	P	FIXED	YES	NO	NO			
	19	KITCHEN	O	2'-8" X 1'-4"	WOOD-UNCLAD	P	FIXED	YES	NO	NO			
	20	GARAGE	P	2'-4" X 3'-2"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			
	21	GARAGE	Q	3'-4" X 3'-2"	WOOD-UNCLAD	P	CASEMENT	YES	NO	NO			

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS GULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC, POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- WINDOW WOOD UNITS TO BE RECEIVED.
- ALL OPERABLE WINDOWS TO HAVE SCREENS AS SPECIFY BY CLIENT.

- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- SINGLE PANE LAMINATED GLASS (1/8" THK.GL.-FILM-1/8" THK.GL.) AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATION SHEETS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENINGS SEE ELEVATION SHEETS

Window Manufacture:

MANUFACTURE:
ADDRESS:
CITY, STATE, ZIP:
PHONE:
FAX:

Glazing Legend

TYPE 1 - TEMPERED GLAZING PER C.B.C. 2406.4

Symbols



Abbreviations

- N/A - NOT APPLICABLE
- G.C. - GENERAL CONTRACTOR
- P - PAINT
- ST - STAIN
- FF - FACTORY FINISH
- I.D. - INTERIOR DESIGN
- S - SEALED
- MFR. - MANUFACTURER
- FIN. - FINISH
- NAT. - NATURAL

Hardware Manufacture:

MANUFACTURE:
ADDRESS:
CITY, STATE, ZIP:
PHONE:
FAX:

Door Schedule

MAIN DWELLING	NO.	LOCATION	TYPE	SIZE / MATERIAL	FINISH	REMARKS	GLAZING	TEMPERED	DETAIL SHEET #				
									DETAILS				
									THRESHOLD	JAMB	HEAD		
MAIN LEVEL	1	ENTRY	A	3'-0" X 6'-8"	WOOD	P	GLASS TOP, 3-INCH THICK	OUTSIDE	YES	YES			
	2	BEDROOM TWO	B	PER 2'-8" X 6'-8"	WOOD	P	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
	3	MECHANICAL ROOM	B	3'-0" X 6'-8"	WOOD	P	FLUSHED / paneled door	OUTSIDE	NO	NO			
	4	MASTER BEDROOM	B	PER 2'-8" X 6'-8"	WOOD	P	FULL GLASS FRENCH DOOR	OUTSIDE	YES	YES			
	5	LIVING ROOM	A	PER 2'-8" X 6'-8"	WOOD	P	FLUSHED / paneled door	OUTSIDE	YES	YES			
	6	DINING ROOM	C	PER 2'-8" X 6'-8"	WOOD	P	FLUSHED / paneled door	OUTSIDE	YES	YES			
	7	DINING ROOM	D	PER 2'-8" X 6'-8"	WOOD	P	FLUSHED / paneled door	OUTSIDE	YES	YES			
	8	GARAGE	D	2'-8" X 6'-8"	WOOD	P	FLUSHED / paneled door w/GLASS TOP	OUTSIDE	YES	YES			
	9	GARAGE	E	8'-0" X 7'-0"	WOOD	P	ROLL-UP	OUTSIDE	YES	YES			

Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5" H. X 4.5" W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS: SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH TO BE EXTERIOR INTERIOR MGS.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED SINGLE GLAZING PANE.

Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATION SHEETS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENINGS SEE ELEVATION SHEETS

Window Manufacture:

MANUFACTURE:
ADDRESS:
CITY, STATE, ZIP:
PHONE:
FAX:

Symbols



Hardware Manufacture:

MANUFACTURE:
ADDRESS:
CITY, STATE, ZIP:
PHONE:
FAX:

Glazing Legend

TYPE 1 - TEMPERED GLAZING PER C.B.C. 2406.4

Abbreviations

- N/A - NOT APPLICABLE
- G.C. - GENERAL CONTRACTOR
- P - PAINT
- ST - STAIN
- FF - FACTORY FINISH
- I.D. - INTERIOR DESIGN
- S - SEALED
- MFR. - MANUFACTURER
- FIN. - FINISH
- NAT. - NATURAL



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC
P.O. BOX 3775
Cerritos, CA 93921
OFFICE: 651.626.4148
CELL: 651.626.4148
WWW.CODGARCH.COM

PROFESSIONAL SEAL OF THE ARCHITECT OF CALIFORNIA
CLAUDIO ORTIZ, ARCHITECT
NO. 10000
I am not responsible for errors or for consequences arising from the use of the information contained herein. I assume no responsibility for any damage or loss, whether actual or consequential, resulting from the use or reliance on the information contained herein. I am not responsible for any delay or interruption of work caused by any third party.

REVISIONS:

PROJECT: Entis Residence
Casa Nova, 2 S/W of 12th
BLOCK: - LOTS: -
APN: 010-281-003-000
PROJECT NO. 16-03

ISSUE: 4-27-16

DRAWN BY: C.O.

WINDOW AND DOOR SCHEDULES

SCALE: 1" = 1/4"



BULB
 MANUFACTURE: PHILLIPS
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: B11 LED SOCKET



FIXTURE A
 MANUFACTURE: BEVOLO
 T24 COMPLIANT: YES
 COLOR: COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB BELOW
 DIMENSIONS: 14"H X 10.5"W X 7.5"



FIXTURE B
 MANUFACTURE: BEVOLO
 T24 COMPLIANT: YES
 COLOR: COPPER
 WATTS: 4 WATTS
 LUMENS: 150
 BULB TYPE: SEE BULB BELOW
 DIMENSIONS: 14"H X 10.5"W X 9.5"



FIXTURE C
 MANUFACTURE: UNKNOW
 T24 COMPLIANT: N/A
 COLOR: BLACK
 WATTS: 3 WATTS
 LUMENS: 200
 BULB TYPE: LED MODULE
 DIMENSIONS: 18"H X 7"W



STONE VENEER
 MATERIAL: CARMEL STONE
 FINISH: NATURAL



FENCE B
 MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 4 FT. MAX.



FENCE A
 MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 4 FT. OR 6 FT. AS NOTED ON SITE PLAN



FIRE PIT
 MANUFACTURE: CARMEL STONE
 COLOR: NATURAL



DRIVEWAY PAVERS
 MANUFACTURE: CALSTONE
 COLOR: OAK BARREL GRAY
 INSTALLATION: SET ON SAND



PATIO
 MANUFACTURE: CARMEL STONE
 COLOR: NATURAL
 INSTALLATION: SET ON SAND



WALKWAY
 MANUFACTURE: CARMEL STONE
 COLOR: NATURAL
 INSTALLATION: SET ON SAND



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC
 P.O. BOX 3775 Carmel, CA 93921
 CLAUDIO@CODG.COM
 WWW.CODG.COM

THIS DOCUMENT IS THE PROPERTY OF CLAUDIO ORTIZ DESIGN GROUP, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CLAUDIO ORTIZ DESIGN GROUP, INC.

REVISIONS:

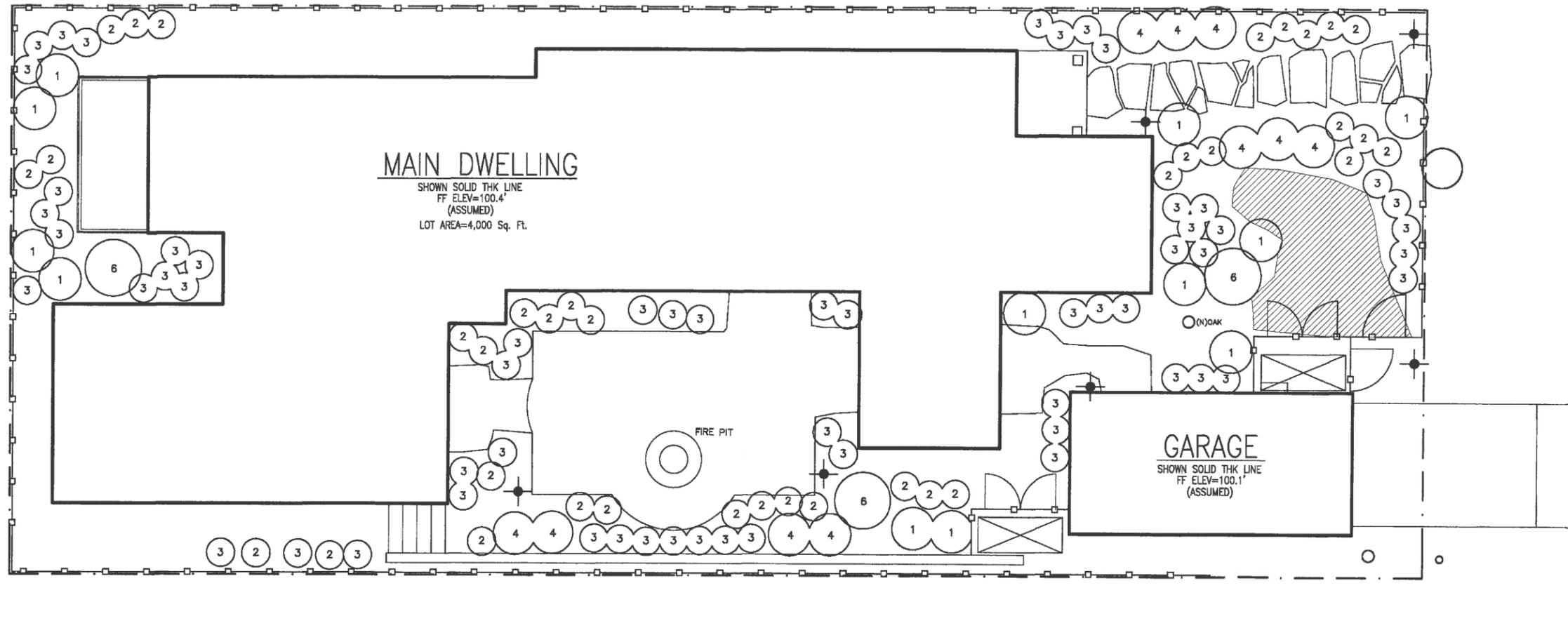
PROJECT: Entis Residence
 Casanova, 2 S/W of 12th
 BLOCK: AA LOTS: 03
 APN: 010-281-003-000
 PROJECT NO. 16-03

ISSUE: 4-27-16
 5-23-16

DRAWN BY: C.O.

MATERIALS

SCALE: 1" = 1/4"



LIGHT KEY

- ◆ PATH LIGHT, 3 WATTS LED, SEE FIXTURE "3" ON SHEET 13
MAY NOT BE SPACED CLOSER THAN 10- FEET APART

EXTERIOR LIGHTING NOTES

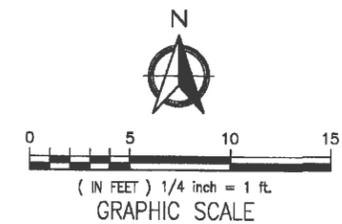
1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25- WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18- INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

IRRIGATION SYSTEM

1" ANTISIPHON DEVICE
1" ELECTRIC VALVES
FILTER PLUS REGULATOR FOR EACH VALVE
ELECTRIC CONTROLLER
EACH PLANT TO BE ON DRIP SYSTEM
ALL PLANTS WILL BE PLANTED WITH AGRIFORM
TABS FOLLOWING MANUFACTURE DIRECTIONS.
COMPOST WILL BE MIXED WITH SOIL AT 2:1

PLANT INDEX

No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	ROSMARINUS	ROSMARY	5 GAL
6	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL
	CAREX PANSA	CA MEADOW SEDGE	PACKS
◆	PATH LIGHT, 3 WATTS LED SEE SHEET - DET. "B"		



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC
P.O. BOX 3775 Carmel, CA 93921
OFFICE: 831.656.4146
WWW.CODGONLINE.COM

REVISIONS OF THIS DRAWING ARE THE PROPERTY OF CODG. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY CODG. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY CODG. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY CODG. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY CODG.

REVISIONS:

PROJECT:
Entis Residence
Casanova, 2 S/W of 12th
BLOCK: AA LOTS: 03
APN: 010-281-003-000
PROJECT NO.
16-03

ISSUE:
4-27-16
5-23-16
DRAWN BY:
C.O.

LANDSCAPE PLAN
SCALE: 1" = 1/4"

Staff Analysis:

Restaurant Use Permit: Full-line restaurants require a Conditional Use Permit to be issued by the Planning Commission. According to CMC Section 17.68.030, full line restaurants provide *“a full line of prepared food and drinks using non-disposable plates, glasses and utensils for immediate consumption on the site. These restaurants provide table service to patrons of all ages who pay after eating. Takeout service may be provided.”*

CMC Section 17.14.040.I (3) establishes the criteria for a full-line restaurant. The criteria for a full-line restaurant are listed below with a staff analysis on how the project complies with the requirements.

1. *Adequate facilities shall be provided on the site for the closed storage of trash and garbage generated by the use. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways. If the method of cooking used will generate hot ashes, a storage facility and disposal method shall first be approved by the Fire Department.*

Analysis: The applicant has provided photographs and a drawing of the existing trash and service area on Sheet 2 of the plans. The trash and service area is located at the southwest corner of the property and is approximately 200-square feet in size and enclosed by a tall wood fence. The trash will be shielded from public view, and therefore staff is in support of maintaining the existing enclosure. Staff has included the following conditions of approval on the use permit to ensure that the trash storage area will meet all the necessary stormwater requirements:

1. The trash storage area shall be designed and maintained to prevent storm water contamination by loose trash and debris.
 2. All drainage from adjoining roofs and pavement shall be diverted around the trash area to minimize water flow through the storage area.
 3. The trash storage area shall be maintained in a screened or walled area to prevent off-site transport of trash.
-
2. *At least one restroom shall be available for use by both sexes within, or conveniently adjacent to, the specific business premises and on the same property on which the use is located. This restroom shall comply with all provisions of the State Uniform Building and Plumbing Codes as to the required size, location and accessibility standards, and shall be available for use by both the employees and patrons of the business.*

Analysis: The applicant is proposing to add a restroom within the restaurant that would be available to both sexes. The restroom would be ADA-compliant.

3. *Drive-in, formula, and fast food establishments are prohibited.*

Analysis: The proposed restaurant, as represented by the applicant, would not exhibit characteristics of a drive-in, formula food, or fast food establishment as defined by CMC 17.70.020. A definition of these terms is included as Attachment D.

4. *Any sale of alcoholic beverages shall be subordinate to this primary use.*

Analysis: The applicant has expressed their intent to serve wine and beer for on-site consumption during meals and is proposing a small bar area with two seats. The City currently has the maximum allowed “Drinking Places” and therefore this application is required to operate as a full service restaurant. The sale of alcoholic beverages would be subordinate to the full-service restaurant. Standard Condition #2 addresses this requirement.

5. *Substantially all foods from the standard menu shall be available for purchase during the hours that alcoholic beverages are being served except for the first hour and the last hour of each business day.*

Analysis: The applicant has indicated that restaurant would be open between the hours of 8:00 a.m. and 10:00 p.m., with a full menu available at all times. Standard Condition #5 addresses this criteria.

6. *The applications, menus and plans indicate that the business will primarily be a restaurant – full line, and that no more than 20 percent of the total number of seats are at a bar or in a separate bar room.*

Analysis: The applicant has submitted a menu indicating that the business would operate as a full-line restaurant. The applicant is proposing a total of 40 seats, 2 of which would be located at a bar. Staff notes that 5% of the seating would be located at the bar and therefore the proposal meets the above requirement.

7. *Customers shall be provided with individual menus while seated at a table or counter.*

Analysis: Standard Condition #7 requires that the above standard is met.

8. *The maximum seating capacity shall not exceed the standards in the State Uniform Building and Fire Codes, the number of seats approved by the Planning Commission through public review, or the number of seats in the previous business, whichever is less. The seating capacity shall be posted on the premises.*

Analysis: The floor/seating plan proposes a total of 40 seats. The applicant has acquired water credits from the Malpaso Water Company which has allowed for the operation of a new restaurant. The floor/seating plan will be reviewed as part of the Building Permit Plan Check process. The seating floor plan is subject to change, and depends on a full analysis of the kitchen, restroom, seating, access paths, etc.

Staff recommends that the Planning Commission approve the maximum of 40 seats as proposed by the applicant. However, it should be noted that Special Condition #21 states that this limit is a maximum, and may be reduced by the Building Official to meet the State Uniform Building and Fire Codes.

Hours of Operation: The proposed hours of operation are from 8:00 a.m. to 10:00 p.m. daily. Special Condition #20 requires that the kitchen close by 10:00 p.m. and states that no new customers shall be accepted after 10:00 p.m. Staff notes that the surrounding buildings contain commercial uses; however, several of these buildings have second-level apartments that could be impacted.

Environmental Review: The application qualifies for a Class 3 Categorical Exemption from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 exemptions include projects involving limited new construction projects and conversion of small structures.

ATTACHMENTS:

- Attachment A – Site Photographs
- Attachment B – Findings for Approval
- Attachment C – Conditions of Approval
- Attachment D – Code Section CMC 17.70.020.
- Attachment E – Floor/Seating Plan

Attachment A – Site Photographs



Attachment A – Site Photographs



Attachment A – Site Photographs



Existing Trash Enclosure

Attachment B – Findings for Decision

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

FINDINGS FOR DECISION

UP 16-181
Porter (Artemis Cafe)
Ocean Avenue, 3 SW of Mission St.
Block 77; Lot 3
APN: 010-141-001

CONSIDERATION:

Consideration of a Use Permit (UP 16-181) to establish a restaurant located in the Central Commercial (CC) District

FINDINGS OF FACT:

1. The project site is located on Ocean Avenue, 3 storefronts southwest of Mission Avenue in the Central Commercial (CC) Zoning District.
2. On May 5, 2016, the applicant submitted a Use Permit application to establish a new full-line restaurant at the subject location named Artemis Cafe.
3. Carmel Municipal Code Section 17.14 Schedule II-B establishes that full line restaurants are a conditionally permitted use and are subject to Planning Commission approval. This Use Permit (UP 16-181) supersedes all previous use permits at this location.
4. The application is exempt from the requirements of the California Environmental Quality Act (Class 3 – New Construction or Conversion of Small Structures).

FINDINGS FOR DECISION:

1. The proposed use, as conditioned, is not in conflict with the General Plan.
2. The proposed use, as conditioned, will comply with all zoning standards applicable to the use and zoning district.
3. The granting of the Use Permit will not set a precedent for the approval of similar uses whose incremental effect will be detrimental to the City, or will be in conflict with the General Plan.
4. The proposed use will not make excessive demands on the provision of public services, including water supply, sewer capacity, energy supply, communication facilities, police protection, and fire protection.

5. The proposed use will not be injurious to public health, safety or welfare.
6. The proposed use will be compatible with surrounding land uses and will not conflict with the purpose established for the district within which it will be located.
7. The proposed use will not generate adverse impacts affecting health, safety, or welfare of neighboring properties or uses.

Attachment C – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

CONDITIONS OF APPROVAL

UP 16-181 (Artemis Café)
Saroyan Master Builders
Ocean Avenue, 3 southwest of Mission Street
Block 77; Lot 3
APN: 010-141-001

PROJECT DESCRIPTION:

Consideration of a Use Permit (UP 16-181) to establish a restaurant located in the Central Commercial (CC) District

STANDARD CONDITIONS (Pursuant to CMC 17.14.040.I):

1. This permit authorizes the use of a full-line restaurant as defined in Section CMC 17.68.030. No more than 20% of the seating is permitted at a bar or in a separate bar room.
2. Any sale of alcoholic beverages shall be subordinate to this primary use.
3. The applicant shall obtain all necessary permits from the Monterey County Health Department prior to building permit issuance.
4. The restaurant shall not operate as a “Drive-in, Formula Food or Fast Food” establishment as defined in CMC Section 17.70.
5. Substantially all foods from the standard menu shall be available for purchase during the hours that alcoholic beverages are being served except for the first hour and the last hour of each business day.
6. Food sold for consumption off the premises shall be incidental to the primary use. Such food shall be placed in covered containers or wrapping.
7. Customers shall be provided with individual menus while seated at a table or counter.
8. The sale of nonfood merchandise that is directly related to the use may be allowed when determined to be incidental to the primary use. The display of nonfood merchandise is prohibited.

9. Adequate facilities shall be provided on the site for the closed storage of trash and garbage generated by the use. The on-site storage shall be designed so that the area can be cleaned and the refuse removed without creating a public nuisance and without being placed on the sidewalks or other public ways. If the method of cooking used will generate hot ashes, a storage facility and disposal method shall first be approved by the Fire Department.
 - 9a. The trash storage area shall be designed and maintained to prevent storm water contamination by loose trash and debris.
 - 9b. All drainage from adjoining roofs and pavement shall be diverted around the trash area to minimize water flow through the storage area.
 - 9c. The trash storage area shall be maintained in a screened or walled area to prevent off-site transport of trash.
10. At least one restroom shall be available for use by both sexes within, or conveniently adjacent to, the specific business premises and on the same property on which the use is located. This restroom shall comply with all provisions of the State Uniform Building and Plumbing Codes as to the required size, location and accessibility standards, and shall be available for use by both the employees and patrons of the business.
11. Maximum seating capacity shall not exceed the standards in the State Uniform Building and Fire Codes, the number of seats approved by the Planning Commission through public review, or the number of seats in the previous business, whichever is less. The seating capacity shall be posted on the premises. This limit is a maximum and may be reduced by the Building Official to meet the State Uniform Building and Fire Codes.
12. Except as provided in CMC Sections 8.68.070 and 8.68.080, no restaurant shall provide prepared food to its customers in CFC-processed food packaging or polystyrene foam food packaging, nor shall any restaurant purchase, obtain, keep, sell, distribute, provide to customers or otherwise use in its business any CFC-processed food packaging or polystyrene foam food packaging. The restaurant shall comply with all other requirements in CMC Section 8.68.
13. The use shall be conducted in a manner consistent with the presentations and statements submitted in the application and at the public hearing, and any change in the use which would alter the findings or conditions adopted as part of this permit shall require approval of a new Use Permit by the City.
14. This Use Permit shall become void and in no further force or effect if the use is not initiated within six months of the issuance of the Certificate of Occupancy from the Building Official.
15. Violations of the terms of this Use Permit or other ordinances of the City may constitute grounds for revocation of this Use Permit and the associated business license by the

Planning Commission.

16. A summary sheet of basic Use Permit requirements (allowed days, allowed hours, special mitigations) shall be posted on the premises or shall be available upon request by any enforcement officer of the City.
17. The applicant agrees, at its sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.

SPECIAL CONDITIONS:

18. Permitted hours of operation are from 8:00 a.m. to 10:00 p.m. daily. No new customers shall be accepted into the restaurant after 10:00 p.m.
19. The restaurant is permitted a maximum of 40 seats, which includes a maximum of 2 seats at the bar. This limit is a maximum and may be reduced by the Building Official to meet the State Uniform Building and Fire Codes.

***Acknowledgement and acceptance of conditions of approval.**

Applicant Signature

Printed Name

Date

Property Owner Signature

Printed Name

Date

Attachment D – Code Section 17.70.20 (Food Use Terms)

17.70.020 Definitions.

Food Use Terms.

Drive-In Establishment. A business that (1) prepares food intended for consumption in vehicles that may or may not be parked on the site; or (2) provides for the ordering of food while the customers are seated in vehicles.

Formula Food Establishment. A business that (1) is required by contractual or other arrangements to offer standardized menus, ingredients, food preparation, employee uniforms, interior decor, signage or exterior design; or (2) adopts a name, appearance or food presentation format that causes it to be substantially identical to another restaurant regardless of ownership or location.

Fast Food Establishment. A business where food is consumed on or off the site and food is (1) pre-made and wrapped before customers place orders, and/or (2) served with disposable tableware for on-site food consumption. A fast food establishment also exhibits two or more of the following characteristics:

1. Food is ordered from a wall menu at a service counter;
2. Food consumed on the premises is ordered while customers are standing;
3. Payment is made by customers before food is consumed;
4. The service counter is closer to an entry/exit than is the seating/dining area; and/or
5. The business interior is brightly illuminated (greater than eight candlefoot power as measured in a horizontal plane three feet above the floor).

Take-out Food Establishment. A business that offers ready-to-eat, prepared snack foods and full meals for immediate consumption off the site while patrons are walking or standing in the public right-of-way or are seated in vehicles.



**COMMUNITY PLANNING & BUILDING DEPARTMENT
CITY OF CARMEL-BY-THE-SEA**

June 8, 2016

TO: Chair Goodhue and Planning Commissioners
FROM: Marc Wiener, AICP, Interim Community Planning & Building Director
SUBJECT: Director's Report - Discussion on Permitted Uses vs. Conditional Uses

Commissioners,

Over the past several months there has been an influx of retail skin-care stores that have been identified as soliciting business from the doorway. The community has expressed concern with the solicitation tactics and with the large number of skin-care shops clustered in one area. Title 17.14 of the City's zoning code regulates land use in the commercial district and defines retail stores that sell skin-care products as a "Permitted Use" (aka 'Use by Right'). The City is obligated to approve a Permitted Use through the business license process, so long as the business meets the zoning requirements and code definition of the use. The use is approved without a requirement to go before the Planning Commission and special conditions cannot be applied. The majority of businesses in Carmel, such as clothing stores, art galleries, offices, etc. are classified as a Permitted Use.

A Permitted Use is distinctively different from a Conditional Use. Conditional Use Permits are approved by the Planning Commission and the decision is discretionary. In order to approve a Conditional Use Permit certain findings must be made and the use is often conditioned with special requirements. In Carmel, one of the standard findings necessary to approve a Use Permit is that proposed use will not conflict with the City's goal of achieving and maintaining a balanced mix of uses that serve the needs of both local and nonlocal populations. Land uses that are classified as a Conditional Use typically are unique in nature and require special review or have the potential to impact surrounding properties. The project is often conditioned to mitigate these potential impacts. Examples of Conditional Uses in Carmel include restaurants, food stores, hotels, and high density housing.