

**CITY OF CARMEL-BY-THE-SEA  
HISTORIC RESOURCES BOARD  
MEETING AGENDA**

Monday, April 18, 2016  
3:15 p.m. Tour  
4:00 p.m. Open Session

City Hall Council Chambers  
East side of Monte Verde Street  
Between Ocean and Seventh Avenues

**A. CALL TO ORDER AND ROLL CALL**

BOARD MEMBERS:

ERIK DYAR, CHAIR  
ELINOR LAIOLO  
KATHRYN GUALTIERI  
JULIE WENDT  
LYNN MOMBOISSE

**B. TOUR OF INSPECTION**

Shortly after 3:15 p.m., the Board will leave the Council Chambers for an on-site Tour of Inspection as noted on “applications” section of the agenda. The public is welcome to follow the Historic Resource Board on its tour of the subject sites. The Board will return to Council Chambers at 4:00 p.m., or as soon thereafter as possible.

**C. PLEDGE OF ALLEGIANCE**

**D. APPEARANCES**

Anyone wishing to address the Board on matters within the jurisdiction of the Board may do so now. Please state the matter on which you wish to speak. Matters not appearing on the Board’s agenda will not receive action at this meeting, but may be referred to staff for a future meeting. Presentations will be limited to three minutes, or as established by the Board. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that the Secretary may identify them.

**E. CONSENT AGENDA**

1. Minutes from the March 21, 2016 Historic Resources Board Meeting will be available at the next regular meeting.

**F. ITEM**

- |  |  |
|--|--|
| 1. SI 16-027/028 (Joshi)<br>Dennis Joshi<br>Dolores, 4 SE of Ocean<br>Block: 76, Lot: 12<br>APN: 010-146-011                   | Consideration of Sign Permit (SI 16-027) application for the installation of an awning on a historic building located in the Central Commercial (CC) Zoning District |
| 2. DS 16-051 (Taylor)<br>Craig Holdren<br>NW corner of Camino Real and Ocean<br>Block: GG, Lots: 1, 3, & 5<br>APN: 010-252-011 | Consideration of a Design Study (DS 16-051) application for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District       |

**G. DIRECTOR'S REPORT**

Monthly Activity Report

**H. SUBCOMMITTEE REPORT**

Discussion on Home of the Month Subcommittee

**I. DISCUSSION ITEMS**

**J. BOARD MEMBER ANNOUNCEMENTS**

**K. ADJOURNMENT**

Any writings or documents provided to a majority of the Historic Resources Board regarding any item on this agenda will be made available for public inspection in the Planning and Building Department located at City Hall, on Monte Verde between Ocean and 7<sup>th</sup> Avenues during normal business hours.

The next regular meeting of the Historic Resources Board is TBD.

The City of Carmel-by-the-Sea does not discriminate against persons with disabilities. The City of Carmel-by-the-Sea Telecommunication's Device for the Deaf/Speech Impaired (TDD) number is 1-800-735-2929.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are available upon request to the Board Secretary. If you need assistance, please advise the Board Secretary what item you would like to comment on, and the microphone will be brought to you.

**AFFIDAVIT OF POSTING**

*I, Marc E. Wiener, Acting Community Planning and Building Director, for the City of Carmel-by-the-Sea, DO HEREBY CERTIFY, under penalty of perjury under the laws of the State of California, that the foregoing notice was posted at the Carmel-by-the-Sea City Hall bulletin board, posted at the Harrison Memorial Library on Ocean and Lincoln April 13, 2016.*

Dated this 13<sup>th</sup> day of April, 2016, at the hour of 4:00 p.m.

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Marc Wiener, Interim Community Planning and Building Director



## **Staff Analysis**

***Awning Design:*** The applicant originally proposed a dome-shaped awning in the middle bay that matched the color and shape of the other two storefront awnings. The HRB supported the request for the middle awning, but directed the applicant to revise the design to be more consistent with the profile of the storefront opening. The applicant has revised the design and is now proposing a traditional-style awning with a valence. In staff's opinion, the proposed awning is a better fit for the middle space and is consistent with the Secretary's Standards. Staff notes that the northern-most awning will also be replaced and all three new awnings on the building will be a matching burgundy color with white letters.

***Environmental Review:*** The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

### **ATTACHMENTS:**

- Attachment A – Awning Plans/Photographs

Attachment A – Awning Design





4/4/2016

IMG\_1948.JPG





CITY OF CARMEL-BY-THE-SEA

Historic Resources Board

April 18, 2016

**To:** Chair Dyar and Board Members

**From:** Marc Wiener, Interim Community Planning and Building Director

**Submitted by:** Catherine Tarone, Assistant Planner

**Subject:** Consideration of a Design Study (DS 16-051) for alterations to a historic residence located in the Single-Family Residential (R-1) Zoning District

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**Recommendation:**

Issue a Determination of Consistency with the Secretary of the Interior's Standards subject to the attached conditions.

**Application:** DS 16-051 (Taylor)                      **APN:** 010-252-011  
**Block:** GG    **Lots:** 1, 3, & 5  
**Location:** NW corner of Camino Real and Ocean Avenue  
**Applicant:** Craig Holdren  
**Property Owner:** Bruce Church and Linda Taylor

**Background**

The existing residence, known as the "Alfred P. Fraser House", is a one-and-two story, wood-framed Craftsman Style residence designed and constructed c. 1918. In 1976, building records show termite repair and interior changes with enclosure of the principal entry. In 2004, open decks were added to the rear (west) elevation. All additions were consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The residence was officially listed on the Carmel Inventory of Historic Resources on November 2, 2002.

The "Alfred P. Fraser House" is significant at the local level under criterion #2 established by the California Register of Historical Resources, PRC Section 5031 (3), for its association with early civic leader, Alfred P. Fraser, the City of Carmel-by-the-Sea's first mayor. It is also significant under criterion #3, as an excellent example of Craftsman Style residential design. Character defining features include its one-and-two-story height, irregular plan, wood-shingled exterior

wall-cladding and roof covering, low-pitched roof, and low-pitched and intersecting stepped gabled roof system.

### **Proposed Project**

The existing residence is 2,521 square feet in size. The applicant is proposing to add 965 square feet including 310 square feet to the main floor, and 84 square feet to the upper level, and 571 square feet to a proposed new lower floor. The project consists of the following components: (1) the addition of a one-story family room and fireplace off of the end of the north side-elevation (2) a small extension of a deck built in 2004 at the north end of the property, (3) an extension of a small bathroom at the north end of the upper-story, (4) the creation of a new, single-story living space on the west elevation of the building, toward the south, building south from an existing raised basement wall, (5) the creation a rooftop deck above the new bedroom space for use by an existing bedroom at the south end of the main floor, (6) the adjustment of two small existing windows on the east-facing façade. The new addition is proposed to have wood shingle siding that will be slightly modified in some locations. Additionally the muntins of the altered windows will be altered slightly to differentiate them from existing windows. All work shall conform to the approved plans except as conditioned by this permit.

### **Staff Analysis**

***Historic Evaluation Summary:*** The California Environmental Quality Act requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. The proposed alterations were reviewed by the City's Historic Preservation Consultant: Kent Seavey. The Phase II Historic Assessment prepared by Mr. Seavey on February 3, 2016, includes an analysis of the proposed changes based on the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Attachment D). The assessment concludes that the project would be consistent with the Standards.

***Alterations:*** The Secretary's Standards recommend that new additions be placed on secondary elevations and where alterations have already occurred. Standard #9 states that *"the new work will be differentiated from the old and will be compatible with the massing, size, and scale to protect the historic integrity of the property."* Standard #10 states *"New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."*

The Phase II Assessment identifies that the proposed additions would be on altered primary elevations and secondary elevations only. The Assessment identifies that south side of the residence is considered a primary elevation, as it fronts Ocean Avenue. However, there are several trees and vegetation that obstruct the public view of the primary elevation.

In the Phase II Assessment, Mr. Seavey concludes that the new additions are designed and located so that the character-defining features of the building would not be radically changed and that the additions are compatible with the size, scale, and massing of the existing residence. The proposed additions include wood-shingle siding and windows that are differentiated from the historic residence as recommended by Standard #9. Furthermore, the additions could be removed without impairing the integrity of the historic residence as recommended by Standard #10.

In summary, the Phase II Assessment concludes that the proposed work will be executed consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Staff concurs with the Mr. Seavey and supports the overall project subject to the attached conditions of approval (Attachment A).

**Alternatives:** The staff recommendation is to issue a determination that the application, as conditioned, is consistent with the Secretary's Standards. Alternatively, the Board could find the application inconsistent with the Secretary's Standards, which would result in either the applicant withdrawing the project or require additional CEQA analysis to evaluate impacts on historic resources.

**Environmental Review:** The California Environmental Quality Act (CEQA) requires environmental review for alterations to historic resources that are not consistent with the Secretary of the Interior's Standards. If the alterations are consistent with the standards, potential historic resource impacts under CEQA do not require further analysis. Staff concludes that the proposed alterations would be consistent with the Secretary of the Interior's Standards and therefore, do not require additional environmental analysis.

**ATTACHMENTS:**

- Attachment A – Conditions of Approval
- Attachment B – DPR 523 Form / Phase II Historic Assessment
- Attachment C – Secretary of the Interior Standards
- Attachment D – Site Photographs/Project Plans

## Attachment A – Conditions of Approval

CITY OF CARMEL-BY-THE-SEA

DEPARTMENT OF COMMUNITY PLANNING AND BUILDING

### CONDITIONS OF APPROVAL

DS 16-051  
Bruce Church and Linda Taylor  
NW corner of Camino Real an  
Ocean Avenue  
Block: GG Lots: 1, 3 & 5  
APN: 010-252-011

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#### **AUTHORIZATION:**

1. This Determination of Consistency (DS 16-051) authorizes alterations to an existing 2,521-square foot residence, subject to Planning Commission approval, as shown on the plans dated March 17, 2016. The project includes a total addition of 965 square feet including 310 square feet to the main floor, and 84 square feet to the upper level, and 571 square feet to a proposed new lower floor. The project consists of the following components: (1) the addition of a one-story family room and fireplace off of the end of the north side-elevation (2) a small extension of a deck built in 2004 at the north end of the property, (3) an extension of a small bathroom at the north end of the upper-story, (4) the creation of a new, single-story living space on the west elevation of the building, toward the south, building south from an existing raised basement wall, (5) the creation a rooftop deck above the new bedroom space for use by an existing bedroom at the south end of the main floor, (6) the adjustment of two small existing windows on the east-facing façade. The new addition is proposed to have wood shingle siding that will be slightly modified in some locations. Additionally the muntins of the altered windows will be altered slightly to differentiate them from existing windows. All work shall conform to the approved plans except as conditioned by this permit.

#### **SPECIAL CONDITIONS:**

1. Measured drawings and photo-documentation of the existing elevations shall be prepared and submitted to the City to include in the historical record.
2. In order to ensure that the essential form and integrity of the historic property is retained, the work shall reuse, to the extent feasible, any available historic building material, and where necessary, match required replacement features in kind

3. Prior to the beginning of construction, the applicant shall convene a pre-construction meeting to include the contractor and the City's Project Planner to ensure compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

# Attachment B - DPR/Phase II Assessment

State of California — The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_  
 NRHP Status Code 5S1

Other Listings \_\_\_\_\_  
 Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page      of      Resource Name or #: (Assigned by recorder) Alfred P. Fraser Hse.

P1. Other Identifier: \_\_\_\_\_

P2. Location:  Not for Publication  Unrestricted a. County Monterey  
 and (P2b and P2c or P2d. Attach a Location Map as necessary.)  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_ ; R \_\_\_\_\_ ; 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_ ; B.M. \_\_\_\_\_  
 c. Address: \_\_\_\_\_ City Carmel by-the-Sea Zip 93921  
 d. UTM: (Give more than one for large and/linear resources) \_\_\_\_\_ ; \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)  
NW Cr. Camino Real & Ocean (Blk GG, Lots 1, 3, 5)

Parcel No. 010-252-011

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

*A one-and-two-story wood-framed Craftsman style residence, irregular in plan, resting on a concrete foundation. The exterior wall cladding is wood shingle, laid about 14" to weather. The low-pitched intersecting gable roof system has wide overhanging eaves w/exposed rafter tails, decorative brackets under overhanging elements, and triangular knee bracing at the gable ends. All roof covering is wood shake. A large, brick exterior eave wall chimney is located on the west (rear) elevation about midway along the building envelope, where it pierces the eave overhangs of both the first and second floors. A second brick exterior eave wall chimney stack is found on the east (front) elevation at the SE cr of the wing projecting from the front entry. It too pierces the eave overhang. There is a slightly projecting bay window on the south side-elevation of the main building block. This feature is capped by a narrow shed roof w/exposed rafter tails, and has decorative brackets under the apron. The house is characterized by a central two-story main building block, w/lower wings on the east side. One wing projects toward the south, and the second, on the NE cr of the main bldg. block, projects toward the east. Fenestration is irregular w/ large fixed multi-paned wood focal windows, toward the west and south, and a combination of single, paired and banked 2/1 Craftsman style wood casement and awning type windows. There are some multi-paned glazed wood doors as well.*

ib. Resource Attributes: (List attributes and codes)

P4. Resources Present  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)  
 (View toward \_\_\_\_\_). Photo No: 823- .

P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both

1918 est. Mo Co Assessors records

P7. Owner and Address

Joan & Thomas Mertens  
15502 N.W. Par Court  
Portland, OR 97229

P8. Recorded by: (Name, affiliation, and address)

Kent L. Seavey, Preservation Consultant, 310  
Lighthouse Ave., Pacific Grove, CA 93950

P9. Date Recorded: 11/2/2002

P10. Survey Type: (Describe)

Carmel Historic Resource Inventory - 2001

P11. Report Citation: (Cite survey report and other sources, or enter "none")

Carmel by-the-Sea Survey 1989-1996

Attachments  NONE  Continuation Sheet  District Record  Rock Art Record  Other: (List)  
 Location Map  Building, Structure, and Object Record  Linear Feature Record  Artifact Record  
 Sketch Map  Archaeological Record  Milling Station Record  Photograph Record

**BUILDING, STRUCTURE, AND OBJECT RECORD**

HRI #

Primary #

Name of

NRHP Status Code

5S1

Resource Name or #: (Assigned by recorder) *Alfred P. Fraser Hse.*

B1. Historic Name: *Alfred P. Fraser Hse.*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *residence*

B5. Architectural Style: *Craftsman*

B6. Construction History: (Construction date, alterations, and date of alterations)

*Constructed ca. 1913; termite repair 1976 (Cbp# 76-76); interior remodel w/minor change to entry 1976 (Cbp# 76-153)*

B7. Moved?  No  Yes  Unknown Date: Original Location:

B8. Related Features: *enlarge door on wood-frame, one-car garage at NE cr. of parcel 1980 (Cbp# 80-56); extend existing board fence along perimeter, on Ocean Ave. side, toward the west 1976 (Cbp# 76-153)*

B9a. Architect:

b. Builder:

B10. Significance: Theme: *Architectural Development*

Area: *Carmel by-the-Sea*

Period of Significance: *1903-1940* Property Type: *single family residence* Applicable Criteria: *CR 2,3*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

*The A.P. Fraser Hse. is significant under California Register criterion 2, for the contributions of Alfred P. Fraser as an early civic leader, and Carmel's first mayor. It is also significant under criterion 3, in the area of architecture as an excellent example of early (ca. 1913) Craftsman style residential design in Carmel. This is a large, side-gabled example of the Craftsman form, built across three lots, that takes full advantage of Carmel Bay views. It possesses most of the decorative features characteristic of the style, including a low-pitched intersecting gabled roof system, w/wide overhanging eaves and exposed rafter-tails, triangular knee bracing in the gable ends, and decorative modillions below overhanging components. The wood windows are uniformly two small square lights above a larger single pane, in a variety of shapes and combinations, including single, paired and banked configurations throughout the house. The original exterior wood shingle was probably natural, but has been painted several times since construction in the teens. The Fraser Hse. is one of the best larger examples of early Craftsman design in Carmel that has been little altered over time. It expresses the strong Arts & Crafts aesthetic present in Carmel during the period.*

*Alfred P. Fraser was the first president of Carmel's Board of Trustees, making him the first mayor of Carmel. Elected in 1916, he served until 1920 during the formative period of city government. Fraser served as Carmel's police court judge, and superintendent of streets. In the mid 1920s, he and his wife Bernice, operated Fraser Looms, a hand woven fabrics shop in the Seven Arts Building at the cr. of Ocean & Lincoln. The Alfred P. Fraser Hse. clearly reflects the findings of, and is consistent with the 1997 Carmel Historic Context Statement under the theme of architectural development.*

B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

B12. References:

*Carmel bldg. records, Carmel Planning Dept., City Hall, Carmel  
Carmel Historic Context Statement 1997*

*Carmel Pine Cone, 9/26/30*

*Hale, Sharron, A Tribute to Yesterday, Valley Publishers: Santa Cruz, 1980*

*Sanborn fire insurance maps of Carmel 1924, 1930, 1930-62*

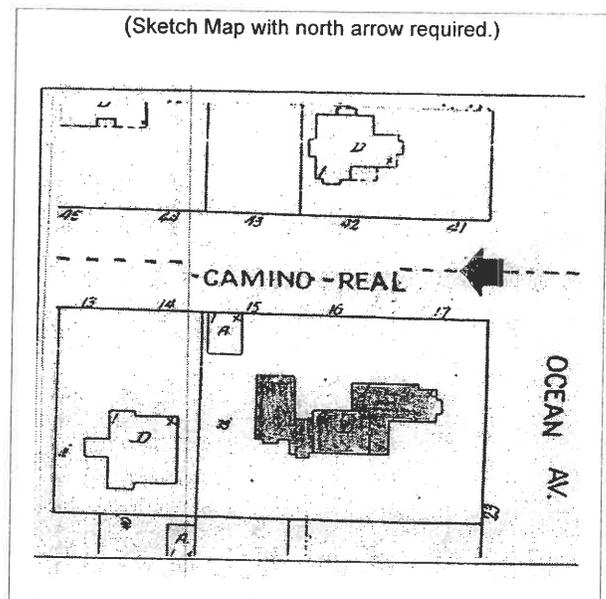
B13. Remarks: *Zoning R-1  
CHCS (AD)*

B14. Evaluator: *Kent L. Seavey*

Date of Evaluation: *11/2/2002*

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



Primary #

HRI #

Trinomial

**CONTINUATION SHEET**

Name of Resource Name or #: (Assigned by recorder) Alfred P. Fraser Hse.  
Recorded by: Kent L. Seavey Date 11/2/2002  Continuation  Update

*P3. The only visible change to the original building, aside from painting, is a vestibule, enclosing the front entry, added in the 1976 remodel. It is in keeping with the original character of the house, and would meet the Secretary of the Interior's Standards for Rehabilitation. The property is surrounded by a high, flush board wood fence w/latticed top, along Camino Real and part of Ocean. Further west along Ocean this fencing turns to a grapestake type. The house is further screened from both streets by mature trees. It has well maintained grounds, w/a front lawn and low shrubbery.*

KENT L. SEAVEY  
310 LIGHTHOUSE AVENUE  
PACIFIC GROVE, CALIFORNIA 93950  
(831) 555-8739

REVISION

MAR 17 2016

City of Carmel-by-the-Sea  
Planning & Building Dept.

February 3, 2016

Mr. Marc Weiner  
Acting Planning Director  
Carmel Planning & Building Dept.  
City of Carmel-by-the-Sea  
P.O. Drawer G  
Carmel, CA 93921

Dear Mr. Weiner:

**Introduction:**

This Focused Phase II Historic Assessment has been prepared on behalf of Bruce Church & Linda Taylor as part of an application for additions and alterations to a two-story single family residence, on a listed historic residence. The subject property is located at the NW cr. Of Camino Real and Ocean Ave. (APN# 010-252-011), in Carmel (see photos, plans & drawings provided).

**Historical Background & Description:**

The subject property is an altered c. 1918 one-and-two story, wood-framed Craftsman Style residence. Carmel building records show termite repair in 1976 (CBP# 76-76); and interior changes with enclosure of the principal entry (CBP# 76-153). Further additions, in the form of open decks, were made to the rear (west) elevation in 2004 (CBP# 04-2362). All additions were consistent with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, under the Standards for Rehabilitation.

The property is listed in the 2003 Carmel Historic Resource Inventory at the local level of significance, under California Register criteria 2, for its association with early civic leader, Alfred P. Fraser, Carmel's first Mayor, and criteria 3, as an excellent example of Craftsman Style residential design. It falls under the theme of Architectural Development in Carmel (1888-1965), established in the 2008 Carmel Historic Context Statement. Its period of significance is c.1918 to 1940 (see California DPR 523 documentation provided).

Character-defining features of the property include its one-and-two-story height; irregular plan; wood shingled exterior wall-cladding & roof covering; low-pitched & intersecting stepped gabled roof system;

multi-paned, single, paired, tripartite and banked wood, fixed & casement type windows and Craftsman Style decorative trim.

### **Evaluation:**

The owners propose to, (1) add a one-story family room w/fireplace off the end of the north side-elevation, (2) slightly extend the modern 2004 open deck at the north end of the existing building envelope a little further west. (3) extend a small bathroom space off the north end of the second floor, (4) create a new, one-story living space on the west side of the building envelope, toward the south, building south from an existing raised basement wall, (5) create a roof deck above the new bedroom space for an existing bedroom at the south end of the ground floor. They also propose to slightly adjust two existing small bathroom windows on the east facing facade, to conform with proposed interior upgrades of this feature. All new work will be undertaken in conformance with the *The Secretary of the Interior's Standards for the Treatment of Historic Properties, under the Standard for Rehabilitation*.

*The Secretary of the Interiors Standards for the Treatment of Historic Properties* Identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard of treatment for the subject property,

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.

The 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, states that "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. In this instance the proposed additions are on altered primary, and secondary elevations. The new additions are designed and will be constructed so that the character-defining features of the historic building are not radically changed. The proposed additions are generally on inconspicuous areas of the historic building envelope, and limited in size and scale in relationship to the historic building.

The proposed new work will be differentiated from the old in a manner that makes clear what is historic and what is new. As proposed, the wood-shingled exterior wall-cladding will be slightly modified in some locations, and window muntin changes will be introduced in the new fenestration. The new elements will reflect the existing historic building fabric for continuity of design.

the work will be compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. This is consistent with Rehabilitation Standard #2 and #5. If removed in future, the essential form and integrity of the historic residence will be unimpaired, consistent with Standards #9 and #10.

### **Impacts of the Proposed Project:**

The owners have proposed the following additions for contemporary usage.

#### **EAST (FRONT) ELEVATION (primary, altered)**

This is a primary elevation that has been somewhat altered by the 1976 enclosure of the original entry, adjacent to the kitchen wing at the north end of the elevation. A garage, modified in 1980 screens the location of the proposed one-story family room, as does the high fencing and hedging along its Camino Real elevation (see photos and plans & drawings provided).

As proposed, the family room will be located toward the rear (west) of the kitchen wing, on an inconspicuous elevation of the historic building. Its size and scale is limited in relationship to the historic building envelope, with the roof line kept low. The exterior wall-cladding will be wood shingles, but of a different pattern than that found on the main building block, as will the pattern of muntins on the proposed Craftsman style windows and wood French door access. It will also be visually screened from the street by the existing garage.

The treatment is consistent with those recommended in the Secretary's Standards for Rehabilitation to assure that the character-defining features of the historic building are not radically changed, and that the new construction is compatible with the site, preserving the historic relationship between building, landscape features and open space.

Measured drawings and photo-documentation of the existing north side-elevation of the kitchen wing will be made, as well as retention or reuse of any historic window removals, in order to insure that if the addition is removed in future, the essential form and integrity of the historic property and its environment would be unimpaired, consistent with Rehabilitation Standard #10 (see copy of Rehabilitation Standards provided).

The proposed bathroom extension on the north end of the second floor elevation will be visible from Camino Real, and will require the removal of one existing window, components of which will be reused as part of the proposed addition.

In accordance with the Rehabilitation Standards recommendations for new additions, the proposed bathroom extension will be kept small in scale, and stepped down from the historic roof line of the original second floor, so as not to obscure or radically change the historic appearance of the building envelope.

As noted above, the exterior wall-cladding will be wood shingles, but of a different pattern than that found on the main building block, as will the pattern of muntins on the proposed Craftsman style windows.

Two small bathroom windows, located south of the entry along this elevation will be shifted slightly to accommodate an interior bathroom expansion. They will remain, retaining their current spatial relationship (see photos and plans & drawings provided).

#### NORTH SIDE-ELEVATION (secondary, altered)

The proposed ground floor family room addition will be almost fully screened from the adjacent property to the north by an existing high, vine covered fence. There will be no height increase on the historic building envelope, or loss of existing views by the slight expansion of the second floor bathroom. Roof forms and wall-claddings remain essentially the same as does the rhythm of solid and voids in the fenestration. The current railing on the existing 2004 rear deck and its stepped approach will be enclosed and extended to meet the railing running along the rear (west) elevation, cleaning up its design visually. The historic character of the residence will be preserved by a very limited alteration of features, spaces and spatial relationships that characterize the property, consistent with Rehabilitation Standard #2.

#### WEST (REAR) ELEVATION (secondary, altered)

Changes to the rear elevation, aside from the family room and second floor bathroom extension, addressed above, will be toward the south, where a partially below grade, one-story bedroom and bath, with an open deck above is proposed (see photos, plans & drawings provided).

The new bedroom/bath space would be below the ground floor-plate, reached from an interior staircase, with a small, sunken exterior terrace at the rear (west), having one window, and two sets of French doors, accessing the terrace to provide code required light and air as well as egress from the new living space.

The roof deck will provide the same code required egress for an existing bedroom on the east side of the ground floor. The proposed deck railing would match those on the existing 2004 deck spaces. The current tripartite window on the west elevation of the existing bedroom would be replaced by a set of wood French doors, designed to match, in kind, the existing fenestration. The original windows will be retained and appropriately stored/or reused in the proposed rehabilitation.

An exterior wall-cladding of horizontal wood siding, matching that found on the existing 2004 decks, will both unify these features, and differentiate the old from the new, consistent with Rehabilitation Standards # 9 and #10.

## SOUTH SIDE-ELEVATION (primary).

The proposed open deck railing will rise just slightly above the new one-story bedroom addition proposed for the west side of this elevation. The new exterior wall cladding, will match, in kind, the existing wood shingle siding.

The current tripartite living room window, on the west elevation of south side-elevation will be replaced by a set of wood French doors, accessing the new deck. The design of the new feature will match, in kind, the existing fenestration. The original windows will be retained and appropriately stored/or reused in the proposed rehabilitation.

NOTE: The south side of the historic house is considered a primary elevation, as it faces on Ocean Avenue, a public right-of-way. However, it is almost impossible to see the residence from the street or sidewalk because of the dense, mature vegetation that fronts the property.

The Alfred P. Fraser House was officially listed May 25, 2005 on the Carmel Inventory of Historic Resources at the local level of significance for its association with an important figure in Carmel's history, and as an early and excellent Craftsman Style design.

The proposed work will be in adherence to the Secretary of the Interior's edict encouraging the placing of new additions on non-character-defining elevations and locating alterations and additions to the historic property in areas where previous changes already exist.

As proposed, the work shall reuse, to the extent feasible, any available historic building material, and where necessary match required replacement features, in kind. New work will be clearly differentiated from the old, but compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic resource and its environment will be unimpaired.

### **Conclusion:**

The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the resource will not be obscured, damaged or destroyed. The proposed alterations are reversible. As proposed the new work will not cause a significant change to the listed historic building and will not create a significant adverse effect on the environment.

**Mitigation:**

The proposed project I appears to be in conformance with the *Secretary of The Interiors Standards for the Treatment of Historic Properties* under the *Standard for Rehabilitation*. (see documentation, photos and plans & drawings provided). No mitigation is needed for this project.

Respectfully Submitted,

*Kurt S. Seawey*

## ATTACHMENT C

### **SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES (Rehabilitation)**

1. "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."
2. "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."
3. "Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."
4. "Most properties change over time; changes that have acquired historic significance in their own right shall be retained and preserved."
5. "Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved."
6. "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, and pictorial evidence."
7. "Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible."
8. "Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken."
9. "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
10. "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."



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MAR 17 2016

City of Carmel-by-the-Sea  
Planning & Building Dept.





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**MAR 17 2016**

City of Carmel-by-the-Sea  
Planning & Building Dept.



# TAYLOR RESIDENCE

## ABBREVIATIONS

AB. ....	ANCHOR BOLT	HDR. ....	HEADER
ALT. ....	ALTERNATE	HOR. ....	HORIZONTAL
APPROX. ....	APPROXIMATE	INT. ....	INTERIOR
ARCH. ....	ARCHITECT	JST. ....	JOB
BD. ....	BOARD	MAX. ....	MAXIMUM
BLDG. ....	BUILDING	M.B. ....	MACHINE BOLT
BM. ....	BEAM	M.I.P. ....	MALLEABLE IRON WASHER
BTM. ....	BOTTOM	MIN. ....	MINIMUM
BTVN. ....	BETWEEN	N.I.C. ....	NOT IN CONTRACT
CLR. ....	CLEAR	N.T.S. ....	NOT TO SCALE
COL. ....	COLUIN	OV. ....	OVER
CONC. ....	CONCRETE	O.C. ....	ON CENTER
CONG. BLK. ....	CONCRETE BLOCK	O.H. ....	OVER HANG/OVER HEAD
CONN. ....	CONNECTION	PL. ....	PLATE
CONST. ....	CONSTRUCTION	P.I. ....	PANEL INDEX
CONT. ....	CONTIGUOUS	P.T. D. P. ....	PRESSURE TREATED D.P.
CTR. ....	CENTER	PLYND. ....	PLYWOOD
CTSK. ....	COUNTERSINK	REINF. ....	REINFORCING
DBL. ....	DOUBLE	RECPD. ....	REQUIRED
D.F. ....	DOUGLAS FIR	STND. ....	STANDARD
DIA. ....	DIAMETER	S.B. ....	SOLID BLOCKING
DRNG. ....	DRAWING	S.O.G. ....	SLAB ON GRADE
(E) ....	EXISTING	SCHED. ....	SCHEDULE
E.N. ....	EDGE NAILING	SHT. ....	SHEET
EA. ....	EACH	SHTS. ....	SHEATHING
EQ. ....	EQUAL	SM. ....	SIMILAR
EXP. ....	EXPANSION	SPECS. ....	SPECIFICATIONS
EXT. ....	EXTERIOR	SG. ....	SOGARE
F. ....	FINISH FLOOR	STD. ....	STANDARD
F.G. ....	FINISH GRADE	SYM. ....	SYMMETRICAL
F.N. ....	FIELD NAILING	T. & G. ....	TONGUE & GROOVE
FNDR. ....	FOUNDATION	T.N. ....	TOE NAIL
FLR. ....	FLOOR	T.O.C. ....	TOP OF CONCRETE
F.O.C. ....	FACE OF CONCRETE	T.O.P. ....	TOP OF WALL
F.O.S. ....	FACE OF STUD	T.S. ....	TRUSS STEEL
FTG. ....	FOOTING	TYP. ....	TYPICAL
GA. ....	GAGES	U.O.N. ....	UNLESS OTHERWISE NOTED
GALV. ....	GALVANIZED	VERT. ....	VERTICAL
G.I. ....	GALVANIZED IRON	VV. ....	VERTICAL
GLUE LAM. ....	GLUE LAMINATED	W/O. ....	WITHOUT
GLUE LAM. ....	GLUE LAMINATED	W.P.M. ....	WELDED WIRE MESH

## OWNERSHIP NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
- TITLE AND ALL COPYRIGHT PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN LIETZKE ARCHITECTURE HERINAFTER REFERRED TO AS "DESIGNERS" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
  - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
  - THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WRITTEN OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
  - IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNERS FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

## PLUMBING & ELECTRICAL NOTES

- FOR ALL NEW PLUMBING AND ELECTRICAL ITEMS:
- SEE ELECTRICAL AND PLUMBING NOTES FOR FLOW RATE AND FLUSH CAPACITY REQUIREMENTS OF PLUMBING FIXTURES.
  - SHOW ALL NEW CIRCUITS TO ELECTRICAL PANEL.
  - ALL KITCHEN AND BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
  - ALL BEDROOM ELECTRICAL OUTLETS SHALL HAVE AFCI PROTECTION.
  - ALL ELECTRICAL ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED.
  - PROVIDE TWO SMALL-APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS.
  - PROVIDE SEPARATE BRANCH CIRCUITS AT EACH BEDROOM WITH THE REQUIRED ARC-FAULT CIRCUIT INTERRUPTER.
  - PROVIDE HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH BEDROOM, HALLWAY & WHERE INDICATED.
  - SMOKE DETECTORS SHALL BE INTER-CONNECTED TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS.
  - USE WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE, SHOWER AND BNS.
  - INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY.
  - UNDERGROUND ALL PLUMBING AND POWER LINES TO THE (N) RESIDENCE. ANY EXTERIOR LIGHTING SHALL BE BURED IN CONDUIT AND INSTALLED PER CURRENT ELECTRICAL CODE REQUIREMENTS.

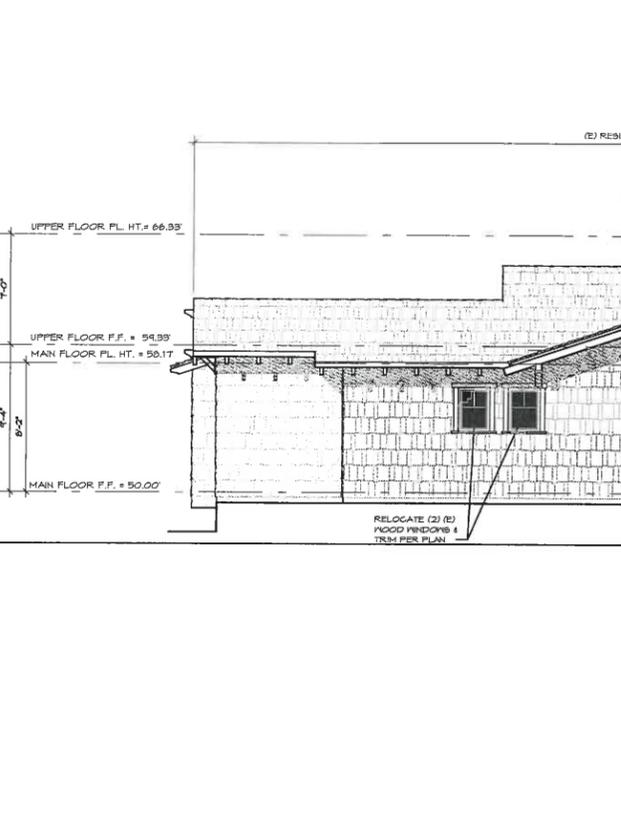
## GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE REASONABLE CARE AND COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS AND PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THE DESIGNERS SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION THE IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWS, ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (CDDP 6.0.2)
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ACHIEVE TO ALL FEDERAL, LOCAL, STATE & OSHA SAFETY REGULATIONS.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LINES SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRED CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNERS FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS / DAMAGES / LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSS, WINDOW & DOORS, FINISH CARPENTRY. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL, AND BINDING.
- CONSTRUCTION BRACINGS & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACINGS AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THE REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

## SPECIAL INSPECTIONS

SEE STRUCTURAL SHEETS FOR SPECIAL INSPECTIONS REQUIRED FOR THIS PROJECT.  
CONTRACTOR SHALL COORDINATE FORMS AND PROCEDURES WITH THE BUILDING DEPARTMENT

## VICINITY MAP



## PROJECT DATA

SCOPE OF WORK: 929 SQ. FT. ADDITION TO AN (E) TWO STORY SINGLE FAMILY RESIDENCE. 4 TR SQ. FT. ADDITION TO (E) DECK. GRADING WILL INCLUDE 55 C.Y. OF CUT AND 1 C.Y. OF FILL. SITE DESCRIPTION: LOTS 13 & 9 IN BLOCK 65, ADDITION NO. 3, CARMEL BY THE SEA VOLUME 2. LOT SIZE: 12,000 S.F.  
TREE INFORMATION: NO EXISTING TREES TO BE REMOVED  
OCCUPANCY GROUP: RESIDENCE: R-3 GARAGE: U  
TYPE OF CONSTRUCTION: V-B

HOUSE SETBACKS  
REQUIRED FRONT SETBACK = 15'-0"  
PROPOSED FRONT SETBACK = 20'-2" (NO CHANGE)  
REQUIRED SIDE SETBACKS = TOTAL OF 25% OF SITE WIDTH = 25'-0"  
PROPOSED SIDE SETBACKS = 30'-10" + 24'-11.5" = 60'-4.5" (EXISTING - NO CHANGE)  
REQUIRED REAR SETBACK = 15'-0"  
PROPOSED REAR SETBACK = 14'-0"

GARAGE SETBACKS  
NO CHANGE

## NOTES

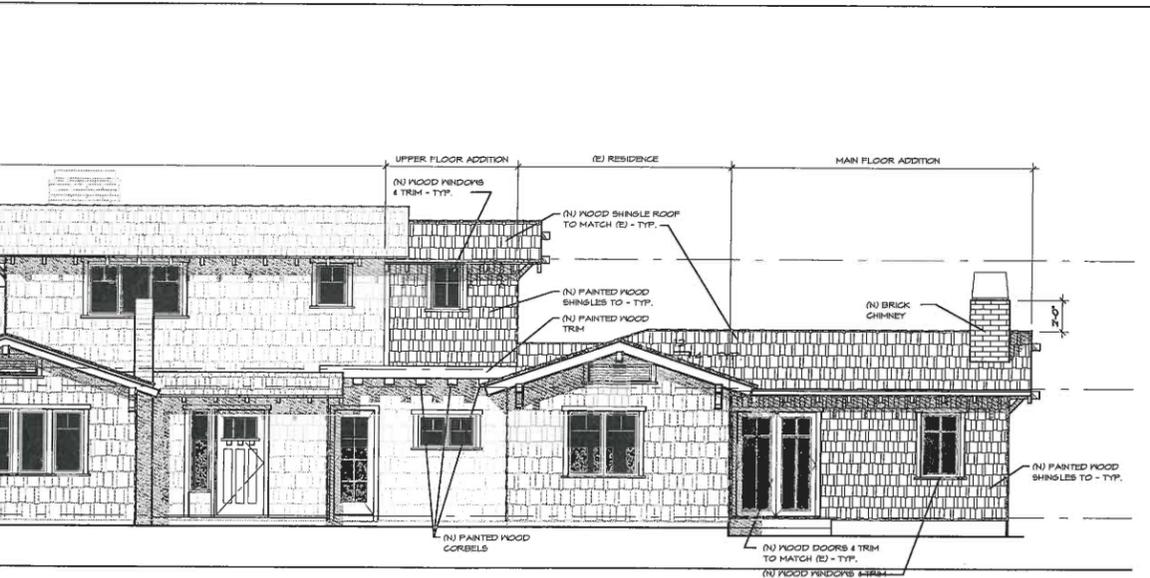
- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2013 EDITION OF THE CALIFORNIA BUILDING, CALGREEN, ENERGY, PLUMBING & MECHANICAL CODES, 2014 NEC, NFPA FIRE CODE AND ANY AMENDMENTS OF PRESIDIOS CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2,500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. WELDED WIRE FABRIC: WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A105-74.
- LUMBER SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE PUBLIC R.A. & A.P.A. PLYWOOD SHALL BE D.F. CONFORMING TO U.S. PRODUCT STANDARDS PS-174 WITH EXTERIOR GLUE. GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- WALL CONSTRUCTION SHALL COMPLY WITH CBC SECTION R602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILING TO BE IN COMPLIANCE WITH CBC TABLE R602.3.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE THE OWNER AND THE CITY OR CARMEL WITH A COPY OF THE CF-6R INSTALLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.

## FIRE SAFETY REQUIREMENTS

- DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES (OR THE PROPERTY LINE). LIMB TREES 6 FEET UP FROM GROUND, REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS.
- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE BUILDINGS AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.
- SMOKE ALARMS - (SINGLE FAMILY DWELLINGS) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGULAR ALARM SYSTEM IS INSTALLED IN LEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UBC THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDS EQUIPMENT.
- ROOF CONSTRUCTION - I-60 CLASS 'A' ROOF ASSEMBLY CONSTRUCTION.

## SURVEY NOTE

A LETTER FROM THE SURVEYOR THAT THE ROOF HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLAN SHALL BE PROVIDED TO THE CITY OF CARMEL-BY-THE-SEA BUILDING SAFETY DIVISION PRIOR TO ROOF SHEATHING INSPECTION.



## SHEET INDEX

ARCHITECTURAL	TOPOGRAPHIC MAP
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A2.0 EXISTING FLOOR PLANS	
A2.1 PROPOSED MAIN FLOOR PLAN	
A2.2 PROPOSED UPPER FLOOR/MAIN ROOF PLAN	
A2.3 PROPOSED LOWER FLOOR PLAN	
A3.0 EXISTING EXTERIOR ELEVATIONS	
A3.1 EXISTING EXTERIOR ELEVATIONS	
A3.0 PROPOSED EXTERIOR ELEVATIONS	
A3.1 PROPOSED EXTERIOR ELEVATIONS	
A4.1 WINDOW AND DOOR SCHEDULES	

## LANDSCAPE

L-1 HARDSCAPE/LIGHTING/DRAINAGE PLAN/DETAILS & STREET SCAPE

FLOOR AREA	EXISTING	PROPOSED
<b>BUILDINGS</b>		
MAIN FLOOR	EXISTING: 1,764 SQ. FT.	1,764 SQ. FT.
	ADDITION: --	310 SQ. FT.
UPPER FLOOR	EXISTING: 342 SQ. FT.	342 SQ. FT.
	ADDITION: --	84 SQ. FT.
LOWER FLOOR	EXISTING: --	571 SQ. FT.
GARAGE	ADDITION: 360 SQ. FT.	360 SQ. FT. (NO WORK)
<b>TOTAL FLOOR AREA</b>	<b>2,521 SQ. FT.</b>	<b>3,486 SQ. FT.</b>
<b>TOTAL ALLOWABLE FLOOR AREA = 3,600 SQ. FT.</b>		

SITE COVERAGE	EXISTING	PROPOSED
ENTRY PORCH, STEPS & WALK	432 SQ. FT.	400 SQ. FT.
BRICK PATIO & WALK	394 SQ. FT.	337 SQ. FT.
DECK	557 SQ. FT.	471 SQ. FT.
LOWER FLOOR ENTRY LANDING		30 SQ. FT.
EXTERIOR STEPS TO LOWER FLR.		26 SQ. FT.
<b>SITE COVERAGE TOTAL</b>	<b>1,800 SQ. FT.</b>	<b>1,272 SQ. FT.</b>
<b>TOTAL ALLOWABLE IMPERMEABLE SITE COVERAGE = 1,272 SQ. FT.</b>		

## PROJECT TEAM

OWNER:  
BRUCE CHURCH AND LINDA R. TAYLOR  
13960 CASTLEROCK ROAD  
SALINAS, CA 93908  
PH: 831-424-0498

SITE ADDRESS:  
NW CORNER OF CAMINO REAL & OCEAN  
CARMEL-BY-THE-SEA, CA 93921

ARCHITECT:  
HOLDREN LIETZKE ARCHITECTURE  
225 CANNERY ROW, SUITE A  
MONTEREY, CA 93940  
PH: 831-649-6001

SURVEYOR:  
CENTRAL COAST SURVEYORS  
5 HARRIS CT, SUITE N-11  
MONTEREY, CA 93940  
PH: 831-394-4930



**HOLDREN+LIETZKE**  
ARCHITECTURE

225 CANNERY ROW - SUITE A  
MONTEREY, CA 93940  
Ph: 831.649.6001  
Fax: 831.649.6003  
www.hl-art.com

DATE:	02/5/16
SCALE:	
DRAWN:	SGC
JOB NUMBER:	14.04
REVISION	
PLANNING COMMENTS	03/14/16

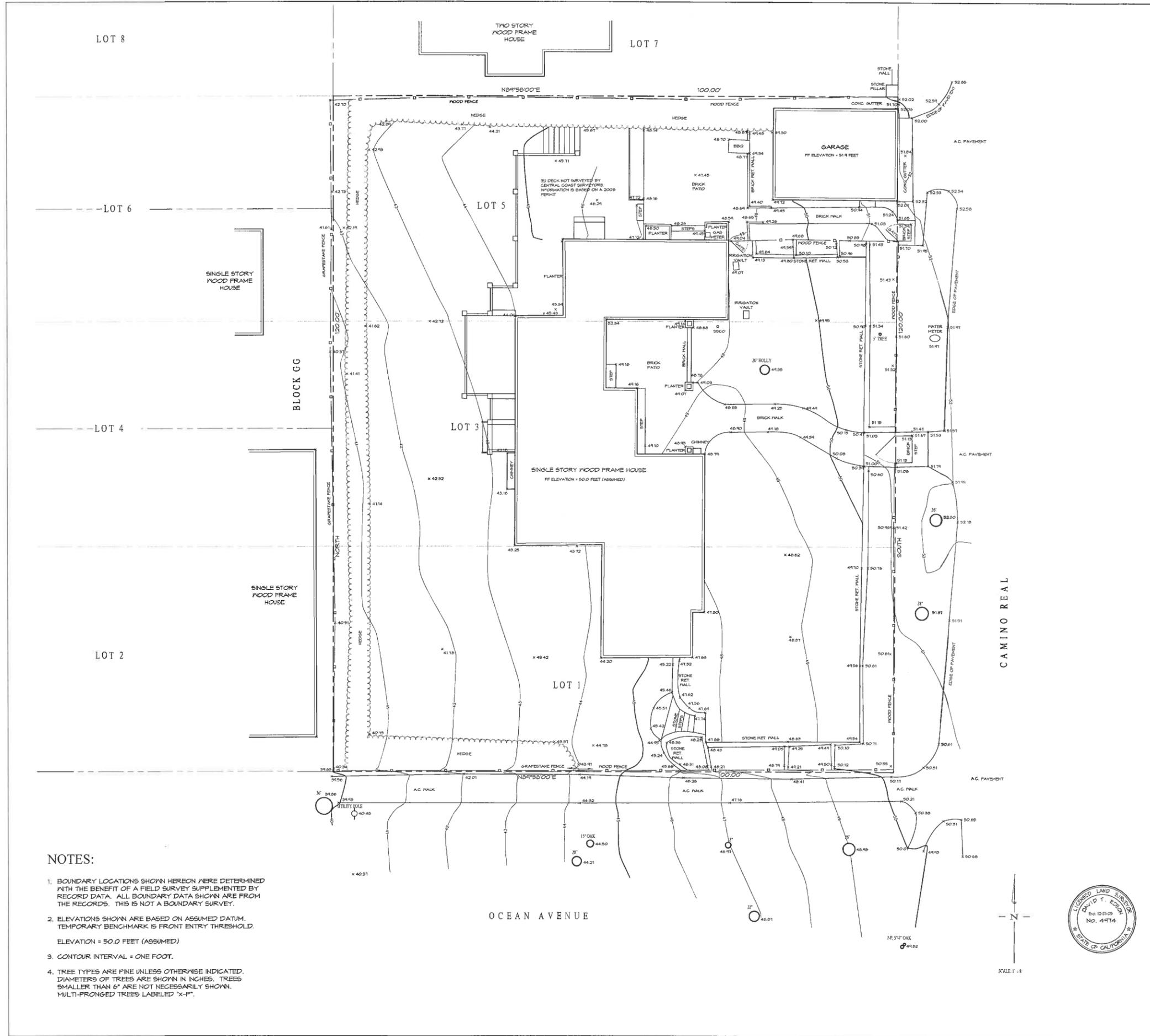
COVER SHEET, PROJECT DATA

**TAYLOR RESIDENCE REMODEL**  
NW CORNER OF CAMINO REAL AND OCEAN  
CARMEL, CA 93921  
A.P.N. 010-252-011

**REVISION**  
**MAR 17 2016**

City of Carmel-by-the-Sea  
Planning & Building Dept.

**A1.0**



**NOTES:**

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
2. ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FRONT ENTRY THRESHOLD.  
ELEVATION = 50.0 FEET (ASSUMED)
3. CONTOUR INTERVAL = ONE FOOT.
4. TREE TYPES ARE PINE UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "X-P".

**TOPOGRAPHIC MAP**  
OF  
**LOTS 1, 3 & 5 IN BLOCK 66**  
ADDITION NO. 3, CARMEL-BY-THE-SEA  
VOLUME 2, "CITIES AND TOWNS", PAGE 5  
RECORDS OF MONTEREY COUNTY

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CITY OF CARMEL    COUNTY OF MONTEREY    STATE OF CALIFORNIA

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PREPARED FOR  
**Holdren Lietzke Design**

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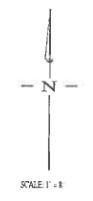
BY  
**CENTRAL COAST SURVEYORS**  
5 HARRIS COURT, SUITE N-11    MONTEREY, CALIFORNIA 93940  
Phone: (831) 394-4930  
Fax: (831) 394-4931

---

SCALE: 1" = 8'    JOB No. 04-119    AUGUST 2004  
PREPARED BY: WDM

---

APN 010-252-011





HOLDREN+LIETZKE  
ARCHITECTURE

225 CANNERY ROW - SUITE A  
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Ph: 831.649.6001  
Fax: 831.649.6003

www.hl-arc.com

DATE: 03/11/16

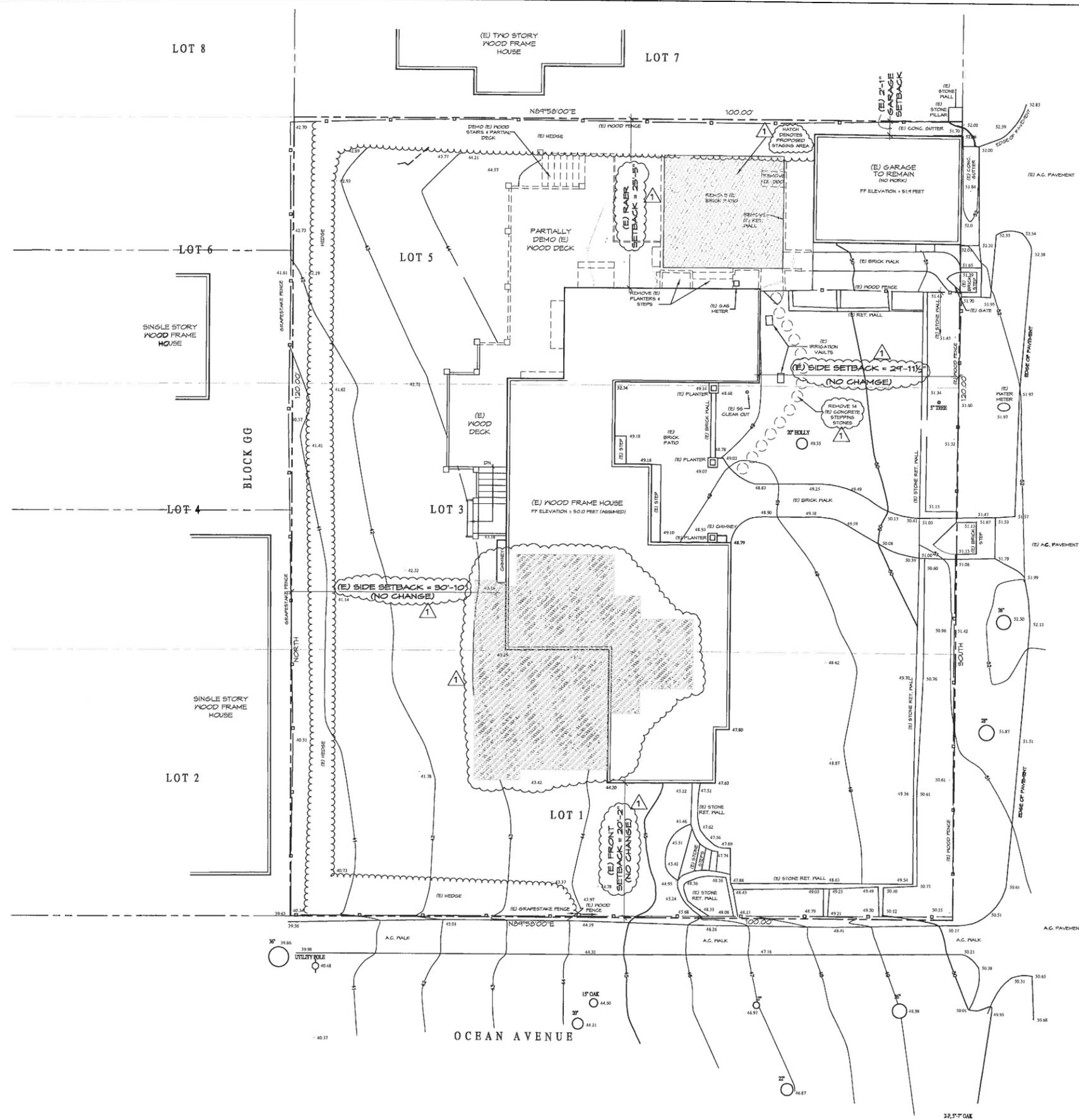
SCALE: 1/8" = 1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

PLANNING COMMENTS  
03/14/16



### EXISTING/DEMO SITE PLAN

SCALE: 1/8" = 1'-0"

LEGEND	
	(E) BUILDING TO REMAIN
	AREA OF CUT
	(E) CONSTRUCTION TO BE REMOVED
NOTES	
1.	PERCENTAGE OF EXTERIOR WALL TO BE TAKEN DOWN OR COVERED = 7.4%
2.	NO GRADING IS PROPOSED OFF SITE IN THE PUBLIC RIGHT OF WAY.
3.	NO CUT/FILL AREAS AROUND THE PROPERTY'S EXISTING TREES

EXISTING/DEMO SITE PLAN

## TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN  
CARMEL, CA 93921  
A.P.N. 010-252-011

A1.1



HOLDREN+LIETZKE  
ARCHITECTURE

225 CANNERY ROW - SUITE A  
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DATE: 02/05/16

SCALE: 1/8" = 1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

1 PLANNING COMMENTS

03/14/16

SURVEY NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON ASSUMED DATUM. TEMPORARY BENCHMARK IS FRONT ENTRY THRESHOLD.
- ELEVATION = 50.0 FEET (ASSUMED)
- CONTOUR INTERVAL = ONE FOOT.

TREE TYPES ARE PINE UNLESS OTHERWISE INDICATED. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. MULTI-PRONGED TREES LABELED "X-P".

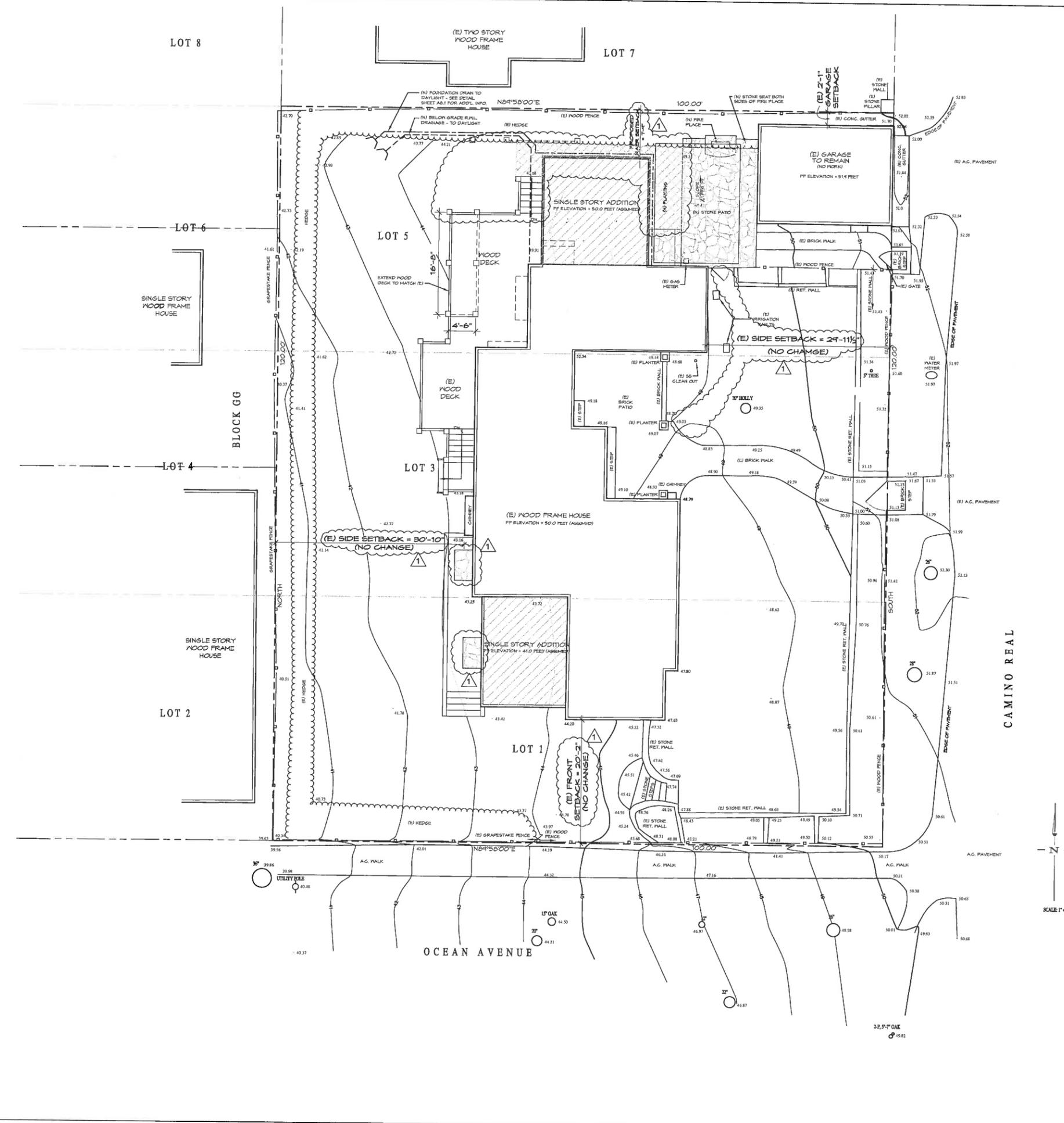
PROPOSED SITE/DRAINAGE PLAN  
SCALE: 1/8" = 1'-0"

LEGEND

- (E) BUILDING TO REMAIN
- AREA OF (N) ADDITION
- AREA OF FILL
- (E) CONSTRUCTION TO BE REMOVED

NOTES

- PERCENTAGE OF EXTERIOR WALL TO BE TAKEN DOWN OR COVERED = 7.4%
- NO GRADING IS PROPOSED OFF SITE IN THE PUBLIC RIGHT OF WAY.
- NO CUT/FILL AREAS AROUND THE PROPERTY'S EXISTING TREES



SITE / DRAINAGE PLAN  
TAYLOR RESIDENCE REMODEL  
NW CORNER OF CAMINO REAL AND OCEAN  
CARMEL, CA 93921  
A.P.N. 010-252-011

A1.2



HOLDREN+LIETZKE  
ARCHITECTURE

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DATE: 02/05/16

SCALE: 1/4"=1'-0"

DRAWN: SGC

JOB NUMBER: 14.04

REVISION

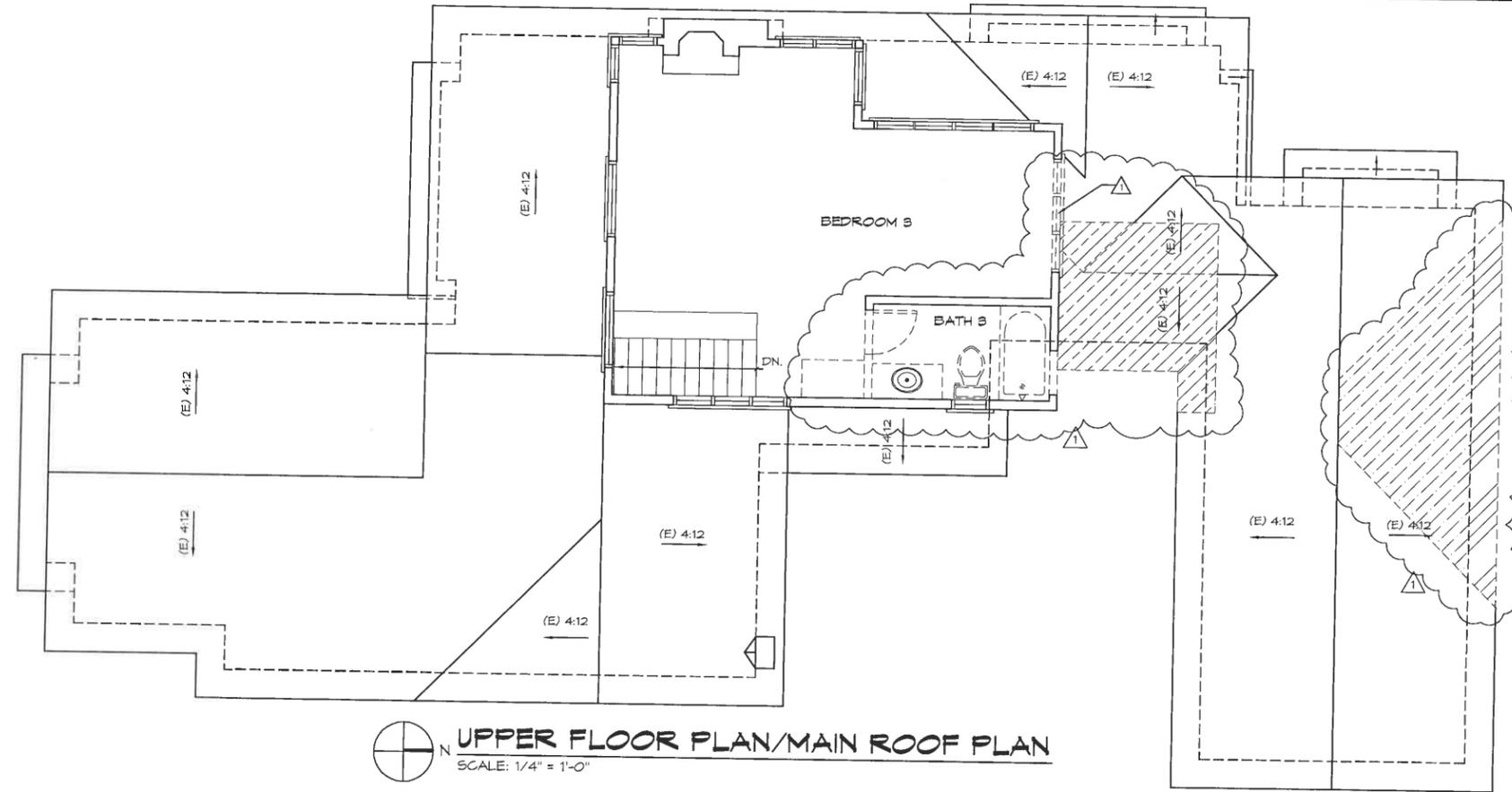
PLANNING COMMENTS  
03/14/16

**KEY NOTES**

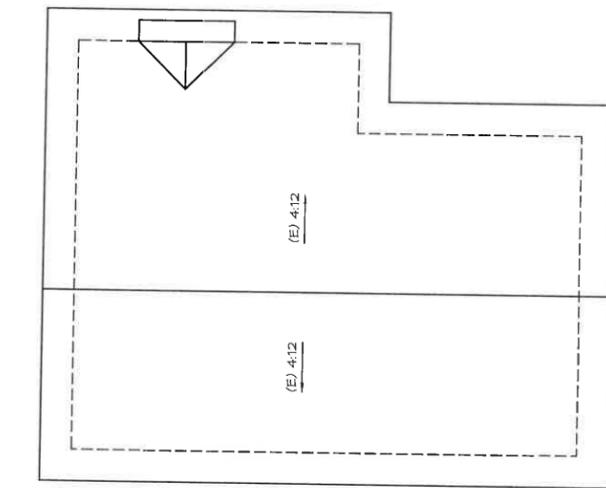
- ▲ REMOVE EXISTING WINDOW WITH CARE AND PERMANENTLY STORE ON SITE PROTECTED FROM THE ELEMENTS.
- ▲ REMOVE EXISTING WINDOW WITH CARE AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN
- ▲ REMOVE LAV WITH CAR AND TEMPORARILY STORE ON SITE PROTECTED FROM THE ELEMENTS FOR RE-INSTALLATION PER NEW PLAN

**LEGEND**

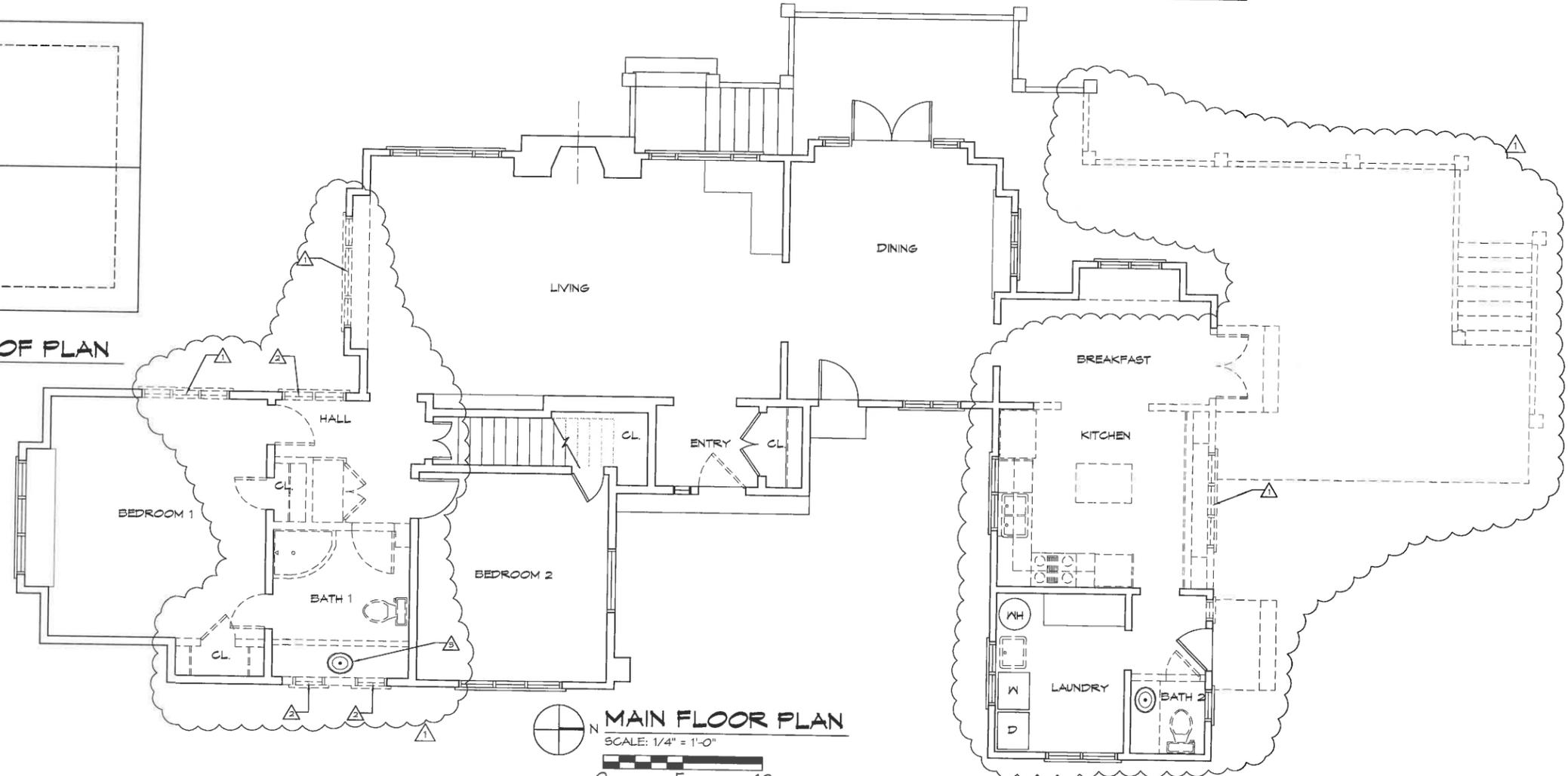
- (E) WALL TO REMAIN
- - - - (E) CONSTRUCTION TO BE REMOVED
- ▨ (E) ROOF TO MATERIAL TO BE REMOVED TO PLYWOOD TO ALLOW FOR NEW ROOF
- ▩ (E) ROOF TO BE REMOVED TO ALLOW FOR NEW UPPER FLOOR ADDITION
- ▧ (E) ROOF RAFTER TAILS TO BE REMOVED TO ALLOW FOR NEW MAIN FLOOR ADDITION



UPPER FLOOR PLAN/MAIN ROOF PLAN  
SCALE: 1/4" = 1'-0"



UPPER FLOOR ROOF PLAN  
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
0 5 10

EXISTING FLOOR & ROOF PLANS

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN  
CARMEL, CA 93921  
A.P.N. 010-252-011

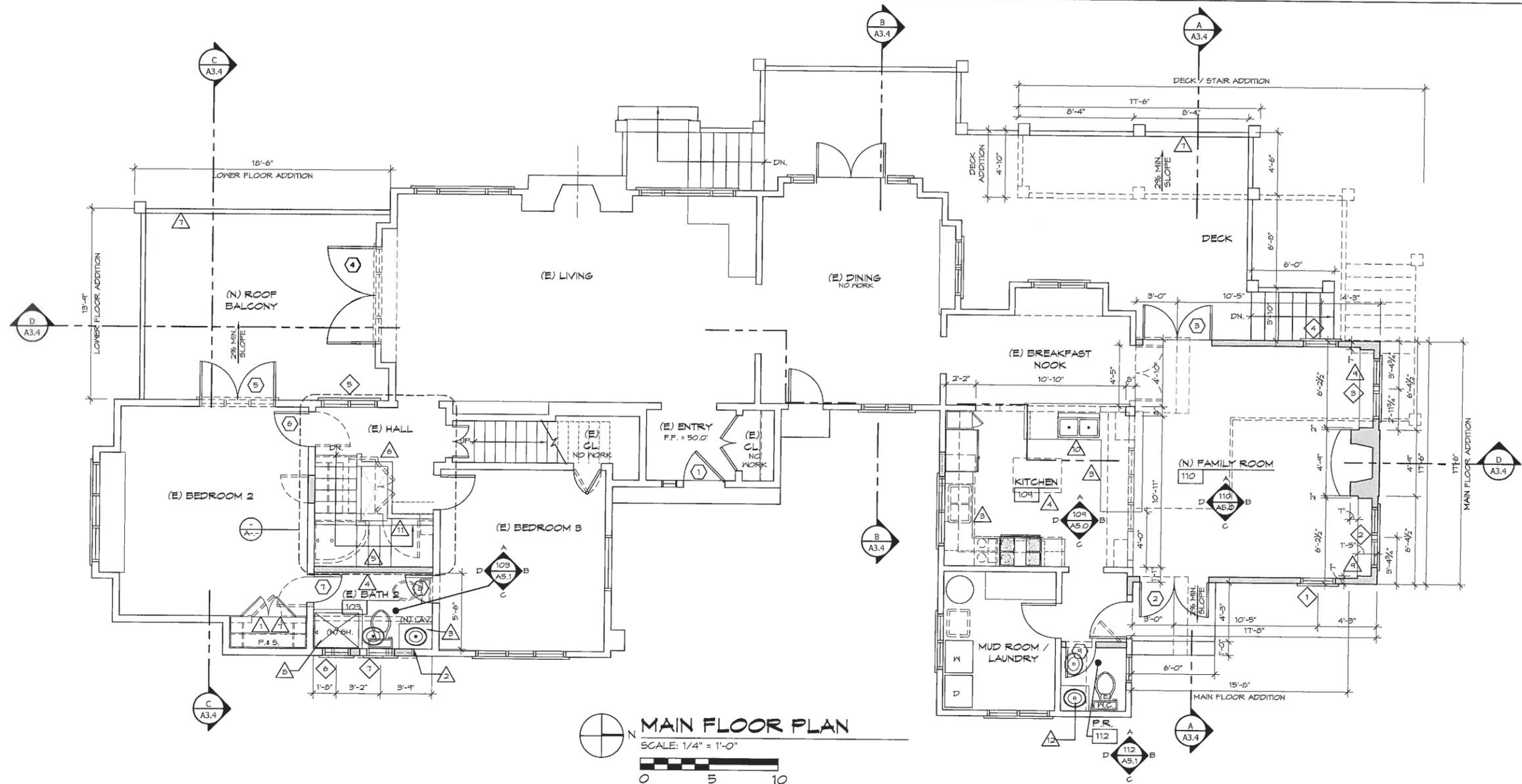
A2.0



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SCALE: 1/4" = 1'-0"  
DRAWN: SGC  
JOB NUMBER: 14.04  
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**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
0 5 10

- NOTES:**
- SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
  - SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION, SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
  - VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

**KEYNOTES**

- CLOSET - SYSTEM BY OTHERS
- MEDICINE CHEST W/ PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 36" HIGH CABINET W/ WATERPROOF COUNTERTOP - UPPIERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- PROVIDE BLK'G FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET AT.1 FOR ADDITIONAL INFORMATION.
- 1/2" Ø POLE MTD. @ 60" A.F.F. W/ PAINTED WOOD 1X12 SHELF ABOVE.
- TILE SHOWER/TUB TO 70" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
- WOOD SHELVES - SEE INT. ELEVS. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
- PROVIDE 3/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
- RELOCATE (E) LAV
- MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION

**LEGEND**

- (E) WALL TO REMAIN
- (N) 2X STUDS @ 16" O.C. W/ 5/8" G.I.B. - SEE STRUCT. - TAPE TEXTURE & PAINT TO MATCH (E)
- (E) CONSTRUCTION TO BE REMOVED



PROPOSED MAIN FLOOR PLAN

**TAYLOR RESIDENCE REMODEL**

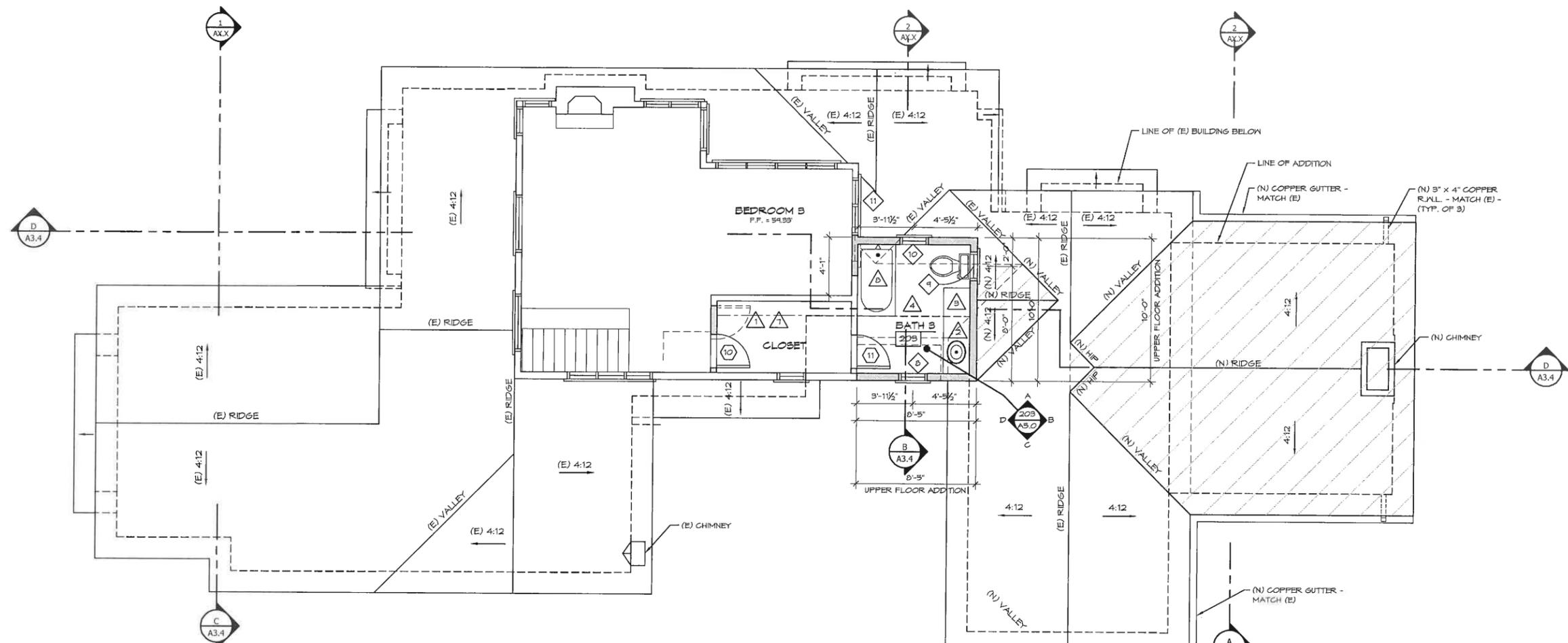
NW CORNER OF CAMINO REAL AND OCEAN  
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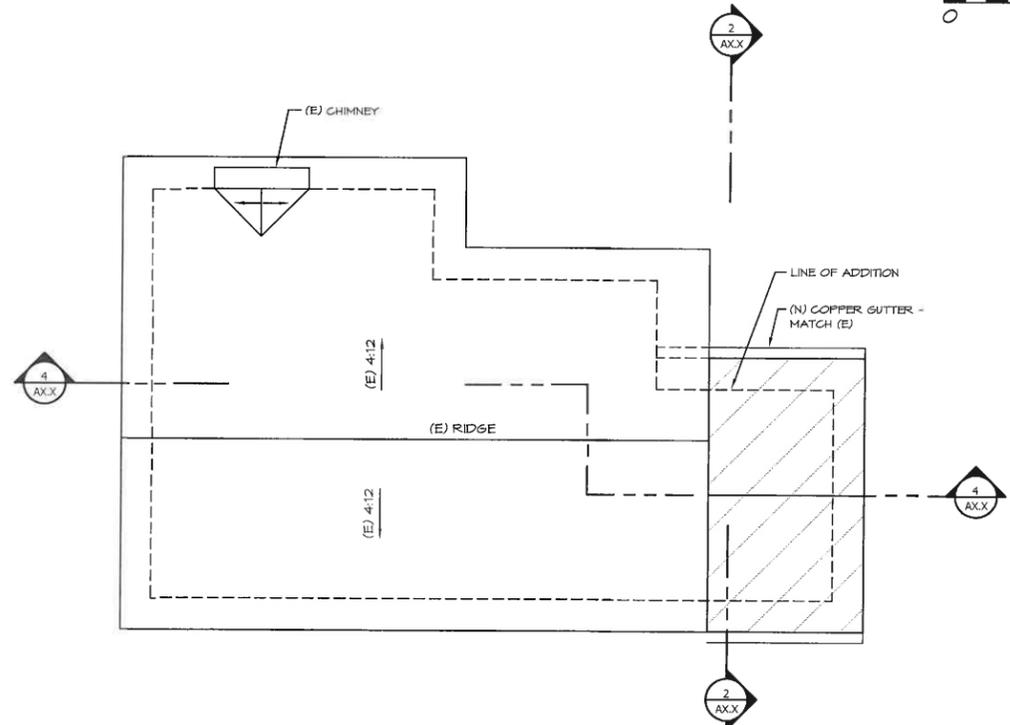
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DRAWN: SSC  
JOB NUMBER: 14.04  
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UPPER FLOOR / MAIN ROOF PLAN  
SCALE: 1/4" = 1'-0"

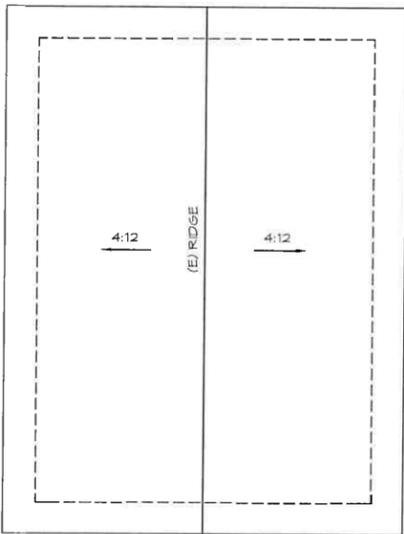


UPPER ROOF PLAN  
SCALE: 1/4" = 1'-0"

NOTES:  
1. SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION  
2. SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDGS. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION  
3. VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

KEYNOTES

- 1 CLOSET - SYSTEM BY OTHERS
- 2 MEDICINE CHEST IV PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
- 3 36" HIGH CABINET IV WATERPROOF COUNTERTOP - UPERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
- 4 PROVIDE BLK'G FOR WALL MOUNTED ACCESSORIES AS REQ'D.
- 5 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
- 6 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET A1.1 FOR ADDITIONAL INFORMATION.
- 7 1/2" Ø POLE MTD. @ 60" A.F.F. IV PAINTED WOOD 1X12 SHELF ABOVE.
- 8 TILE SHOWER/TUB TO 10" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
- 9 WOOD SHELVES - SEE INT. ELEV'S. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
- 10 VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
- 11 PROVIDE 3/4" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
- 12 RELOCATE (E) LAV
- 13 MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION



**LEGEND**

- (E) WALL TO REMAIN
- (N) 2X6 STUDS @ 16" O.C. U.O.C. IV 3/8" TYPE 'X' G.P.B. - TAPE TEXTURE & PAINT TO MATCH (E)
- LOCATION OF (N) ROOF - MATERIALS AND SLOPE TO MATCH (E) ROOF

PROPOSED UPPER FLOOR/MAIN ROOF PLAN

TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN  
CARMEL, CA 93921  
A.P.N. 010-252-011

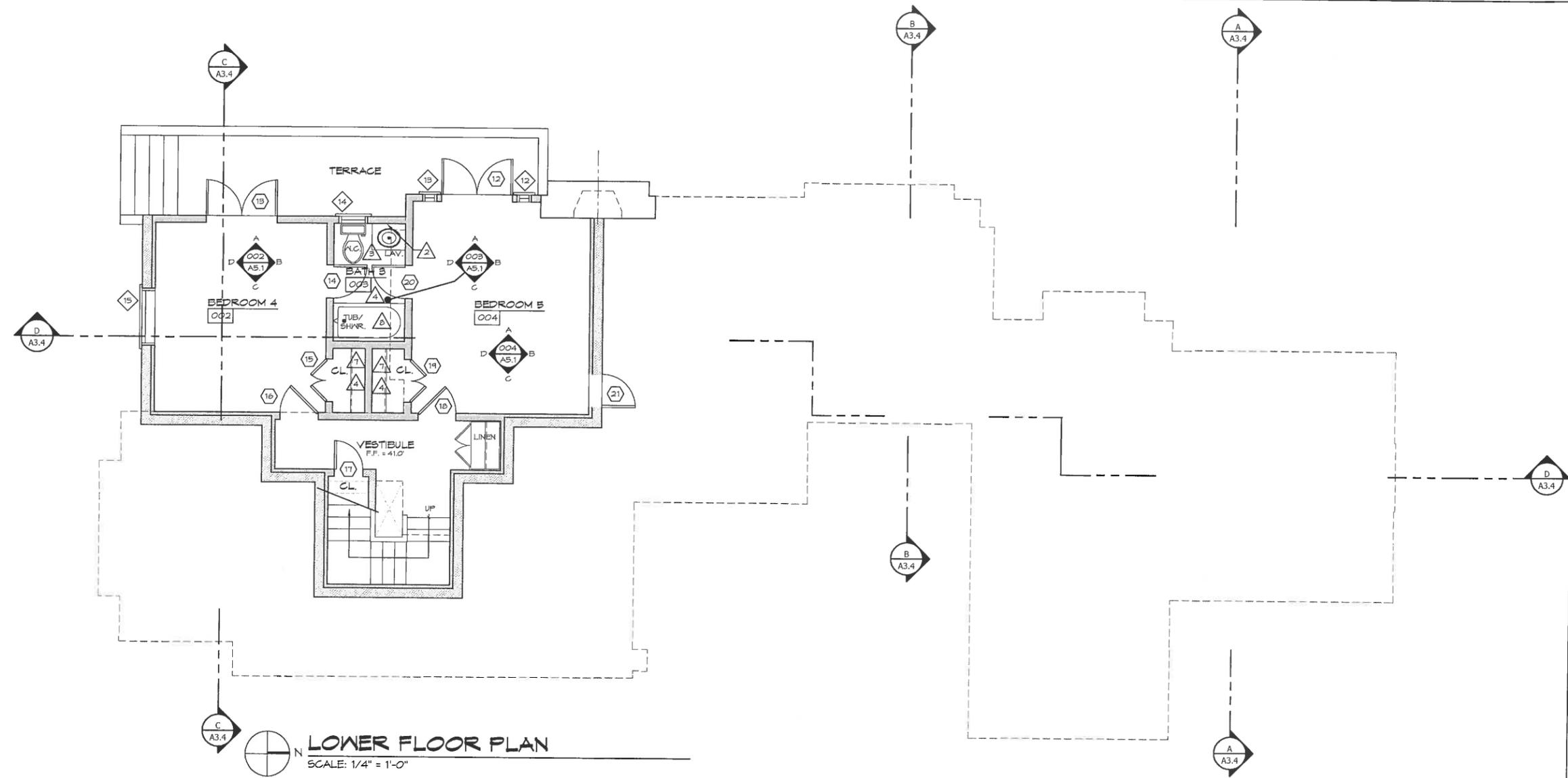
A2.2



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JOB NUMBER: 14.04  
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**LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



LEGEND	
	(N) 2X6 STUDS @ 16" O.C. U.O.N. W/3/4" TYPE 'X' G.W.B. - TAPE TEXTURE & PAINT TO MATCH (E)
	(N) CONCRETE OR CMU RETAINING WALL

- NOTES:**
- SEE CIVIL & LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
  - SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION
  - VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE

- KEYNOTES**
- CLOSET - SYSTEM BY OTHERS
  - MEDICINE CHEST IV PAINTED WOOD DOOR OR MIRROR WHERE INDICATED
  - 36" HIGH CABINET IV WATERPROOF COUNTERTOP - UPFERS ABOVE WHERE INDICATED. PROVIDE BLACKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER.
  - PROVIDE BLK'S FOR WALL MOUNTED ACCESSORIES AS REQ'D.
  - 36" H. HANDRAIL AND 42" H. GUARD - SEE STAIR DETAILS FOR ADDITIONAL INFORMATION
  - 42" HT. GUARDRAIL - RAIL & RAIL CONNECTION SHALL RESIST 200 LBS. PER LINEAR FOOT LOAD APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. SEE SHEET A7.1 FOR ADDITIONAL INFORMATION.
  - 1 1/2" Ø POLE MTD. @ 60" A.F.F. IV PAINTED WOOD 1X12 SHELF ABOVE.
  - TILE SHOWER/TUB TO 10" ABOVE FLOOR, SLOPE FLOOR TO DRAIN
  - WOOD SHELVES - SEE INT. ELEVS. - FINAL DESIGN SHALL BE APPROVED BY OWNER.
  - VENTING FOR ISLAND FIXTURES SHALL COMPLY WITH SECTION 909 OF THE 2013 PLUMBING CODE.
  - PROVIDE 5/8" TYPE 'X' GYP. BD. @ ALL UNDERSTAIR SURFACES.
  - RELOCATE (E) LAV
  - MECHANICAL - SEE MECH. FOR ADDITIONAL INFORMATION

**PROPOSED LOWER FLOOR PLAN**  
**TAYLOR RESIDENCE REMODEL**  
 NW CORNER OF CANNERY ROW AND OCEAN  
 CARMEL, CA 93921  
 A.P.N. 010-252-011



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**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

**TAYLOR RESIDENCE REMODEL**

NW CORNER OF CAMINO REAL AND OCEAN  
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A.P.N. 010-252-011

**A3.0**



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**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

**TAYLOR RESIDENCE REMODEL**

NW CORNER OF CAMINO REAL AND OCEAN  
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A.P.N. 010-252-011

**A3.1**



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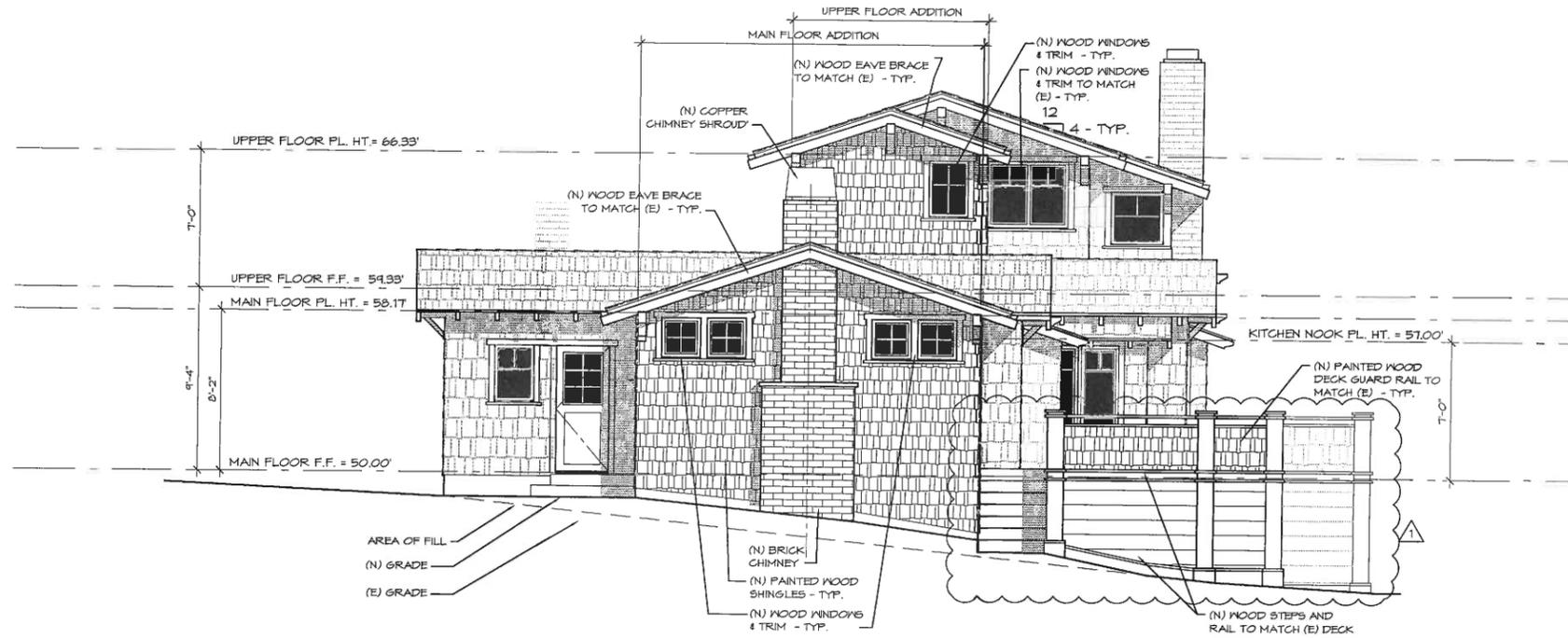
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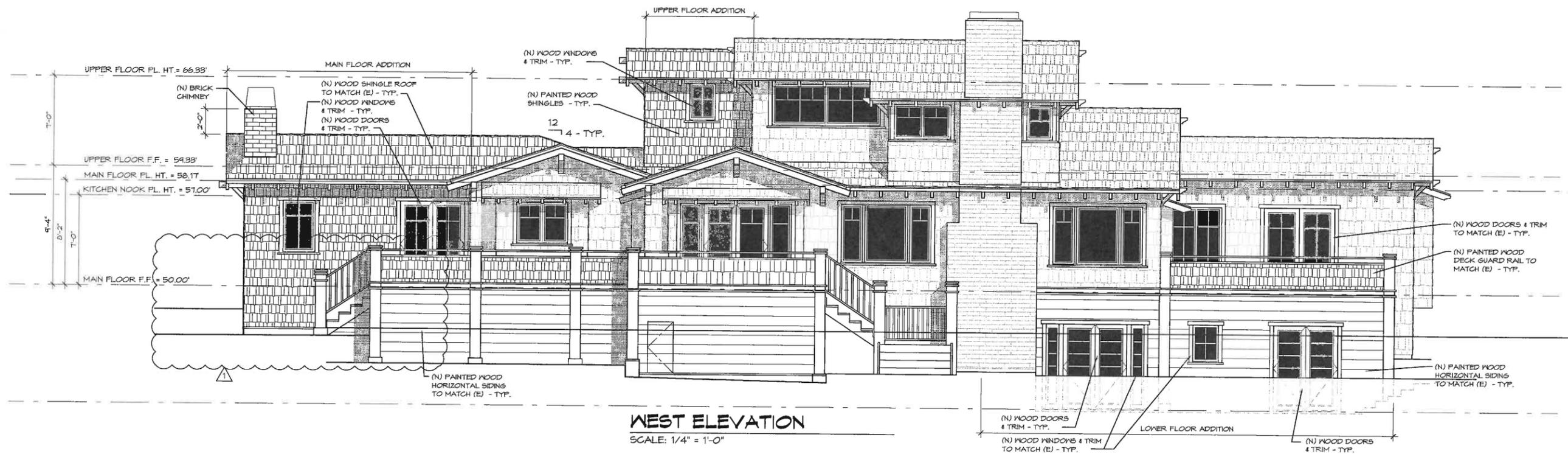
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1 PLANNING COMMENTS  
03/14/16



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

PROPOSED ELEVATIONS

**TAYLOR RESIDENCE REMODEL**

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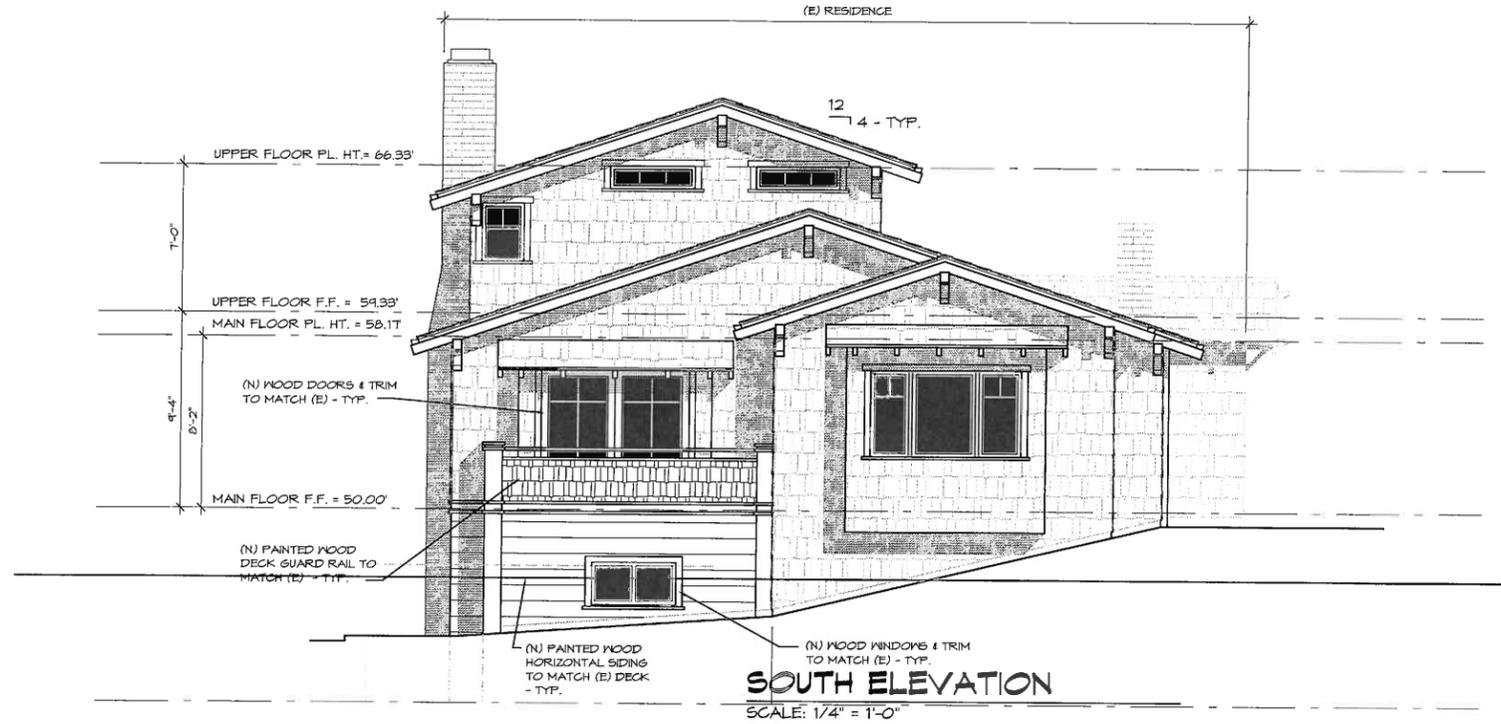
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JOB NUMBER: 14.04

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PROPOSED ELEVATIONS

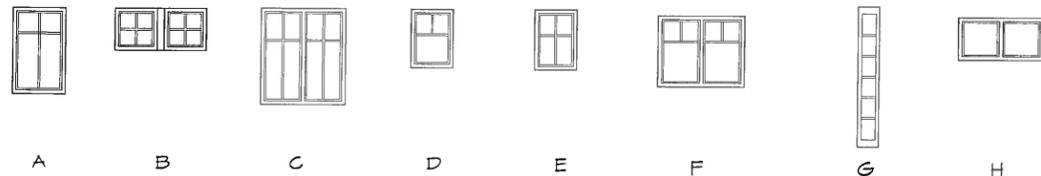
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN  
CARMEL, CA 93921

A.P.N. 010-252-011

A3.3

WINDOW TYPES WOOD WINDOWS (U.N.O.)



WINDOW NOTES

GENERAL GLAZING NOTES:

WINDOWS: WOOD

- VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS. EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE TEST SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING:
  - GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
  - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
  - GLAZING IN ALL UNFRAMED SWINGING DOORS.
  - GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN OUTLET.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- VERIFY SWING HAND OF OPERABLE WINDOWS. SEE A3.1 & A3.2 BUILDING ELEVATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20", NET CLEAR OPENING HEIGHT OF 2'-11".
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- VERIFY DIVIDED LIGHT CONFIGURATION FOR EACH WINDOW PRIOR TO ORDER. SEE A3.1 & A3.2 BUILDING ELEVATIONS. ALSO, CONTACT THE WINDOW MANUFACTURER SINCE DIVIDED LIGHT CONFIGURATION MAY BE SUBJECT TO FACTORY APPROVAL.
- SEE TYPICAL WINDOW FLASHING REQUIREMENTS BELOW FOR ADDITIONAL INFORMATION.
- ALL WINDOW GLAZING SHALL INCLUDE WATERPROOFING POLYMER ADDITIVE. VERIFY MANUFACTURER WITH OWNER.
- MANUFACTURER TO PROVIDE JAMB AND SILL EXTENSIONS AS REQUIRED. SEE WINDOW DETAILS.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

WINDOW SCHEDULE - WOOD W/TEMPERED GLAZING

NOTE: SEE WINDOW NOTE 4, SHEET A4.2 FOR ADDITIONAL GLAZING INFORMATION

MARK	TYPE	NOMINAL DIMENSIONS		HEAD HEIGHT (ABOVE FIN. FLR.)	FRAME (EXT/INT)	GLAZING	DETAILS (SEE SHEET A4.4 U.O.N.)			REMARKS
		WIDTH	HEIGHT				HEAD	JAMB	SILL	
1	A	CASEMENT	PAIR 3'-0"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
2	B	FIXED	TRIPLE 3'-0"	7'-9"	8'-0"	WOOD	DOUBLE INSULATED			
3	B	FIXED	3'-0"	2'-0"	8'-0"	WOOD	DOUBLE INSULATED			
4	A	CASEMENT	3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			
5	C	CASEMENT	3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			
6	D	CASEMENT	PAIR 3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
7	D	CASEMENT	2'-6"	3'-9"	6'-8"	WOOD	DOUBLE INSULATED			
8	E	CASEMENT	3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			
9	E	CASEMENT	PAIR 3'-0"	7'-9"	6'-8"	WOOD	DOUBLE INSULATED			EGRESS WINDOW - SEE WINDOW NOTE 6, SHEET A4.2
10	E	CASEMENT	PAIR 3'-0"	8'-6"	6'-8"	WOOD	DOUBLE INSULATED			
11	F	CASEMENT	2'-7"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
12	G	FIXED	3'-10"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
13	G	FIXED	2'-7"	8'-8"	6'-8"	WOOD	DOUBLE INSULATED			
14	E	CASEMENT	PAIR 3'-0"	8'-6"	6'-8"	WOOD	DOUBLE INSULATED			
15	H	CASEMENT	3'-6"	5'-0"	6'-8"	WOOD	DOUBLE INSULATED			



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DATE: 03/16/16

SCALE: 1/4"=1'-0"

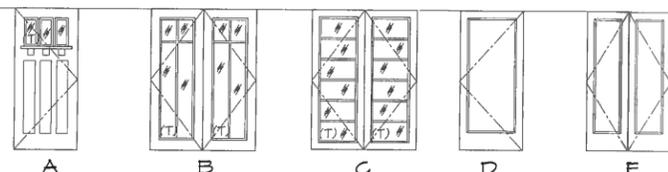
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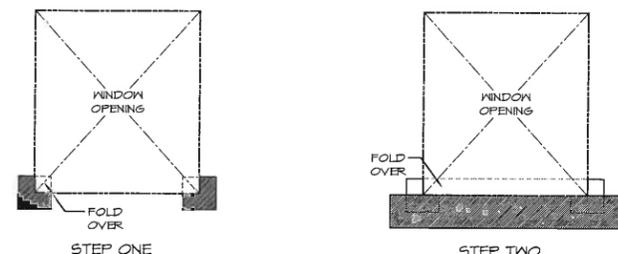
REVISION

DOOR TYPES

HEADER HEIGHT SEE SCHEDULE



TYPICAL WINDOW FLASHING

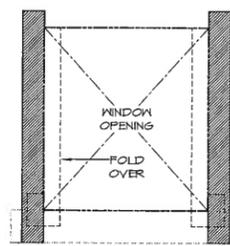


- INSTALL 12" sq. SELF-ADHESIVE MEMBRANE CORNER PATCHES.
- FOLD ENDS IN AT JAMBS.
- ENSURE MEMBRANE EXTENDS TO FULL WALL WIDTH ON EXTERIOR FACE.

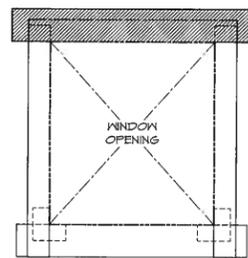
- INSTALL 12" sq. SELF-ADHESIVE MEMBRANE STRIP AT WINDOW SILL.
- LAP SILL MEMBRANE OVER CORNER PATCHES.
- ENSURE MEMBRANE EXTENDS MIN. 6" BEYOND CORNER PATCHES.
- FOLD O/SILL STRIP TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.

GENERAL NOTES:

- ENSURE ALL SURFACES TO RECEIVE MEMBRANE FLASHING ARE CLEAN AND DRY.
- ENSURE MEMBRANE IS WELL SEATED AGAINST EXTERIOR VAPOR BARRIER (HOUSE WRAP) - EXERCISE CARE SO AS TO REDUCE WRINKLES IN APPLIED MEMBRANES.
- AT ALL ALUMINUM WINDOWS OF ANY KIND, NO COPPER SHALL BE PLACED IN DIRECT CONTACT WITH THE WINDOW ELEMENT; ONLY A MIN. 16OZ G.I. FLASHING SHALL BE USED.



- INSTALL 6" WIDE SELF-ADHESIVE MEMBRANE STRIP AT WINDOW JAMBS.
- LAP JAMB MEMBRANE O/SILL MEMBRANE.
- FOLD OVER JAMB STRIPS TO ENSURE THAT MEMBRANE EXTENDS TO FULL WALL WIDTH.



- INSTALL WINDOW PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- INSTALL 16 OUNCE G.I. HEAD FLASHING EXTEND PAST WINDOW OPENING TO EDGE OF JAMB MEMBRANE.
- INSTALL 12" WIDE SELF-ADHESIVE MEMBRANE OVER 16 OZ. G.I. FLASHING, EXTEND 6" PAST JAMB MEMBRANE.

DOOR SCHEDULE

MARK	TYPE	DIMENSIONS			CORE	FINISH	FRAME	HARDWARE	DETAILS (SEE SHEET A4.5 U.O.N.)			REMARKS
		WIDTH	HEIGHT	THK.					HEAD	JAMB	THRESH.	
1	A	EXTERIOR	3'-0"	6'-8"	2-1/4" MIN.	S.C.	STAIN	WOOD	DEADBOLT LOCKSET			
2	B	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
3	B	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
4	B	EXTERIOR	FR. 3'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
5	B	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
6	D	INTERIOR	2'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
7	D	INTERIOR	2'-0"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
8	D	INTERIOR	2'-0"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
9	C	INTERIOR	2'-2"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
10	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
11	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
12	C	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
13	C	EXTERIOR	FR. 2'-6"	6'-8"	2-1/4" MIN.	S.C.	PAINTED	WOOD	LOCKSET			CUSTOM DOUBLE DOOR UNIT W/TEMPERED GLAZING
14	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
15	E	INTERIOR	FR. 1'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
16	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
17	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
18	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
19	E	INTERIOR	FR. 1'-6"	6'-8"	3/8"	S.C.	PAINTED	WOOD				
20	D	INTERIOR	2'-4"	6'-8"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			
21	D	INTERIOR	2'-4"	4'-6"	3/8"	S.C.	PAINTED	WOOD	LOCKSET			SELF CLOSING, TIGHT FITTING 1-3/8" THICK MIN. SOLID WOOD OR 20-MINUTE RATED FIRE ASSEMBLY

DOOR NOTES

HARDWARE NOTES

ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:

- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
- THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
- PROVIDE 4" X 4" BUTTS ON ALL DOORS.
- ALL HARDWARE TO HAVE FINISH PER OWNER.
- ALL FIRE RATED DOORS SHALL HAVE PENKO 888D (OR EQUAL) SMOKE SEALS.

DOOR NOTES

1. SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR OPERATION

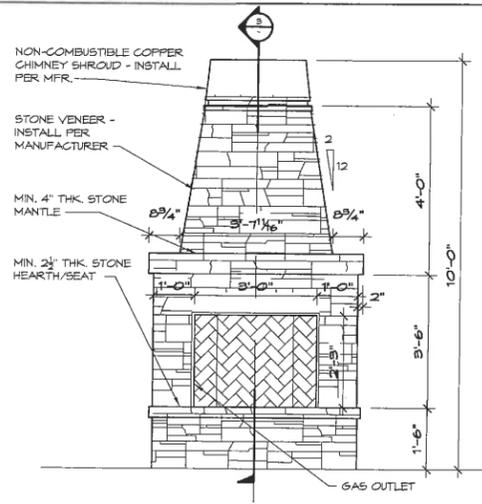
- ALL DOOR GLAZING TO BE TEMPERED:
  - S.C. = STAIN GRADE
  - P.G. = PAINT GRADE
- TEMPERED GL. - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
- VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
- PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS SHOWN.
- WHEN INSTALLING ALUMINUM OR ALUMINUM CLAD WINDOWS, NO COPPER FLASHING SHALL BE USED; ONLY A MIN. 16 OZ. G.I. FLASHING SHALL BE USED.

WINDOW & DOOR SCHEDULE

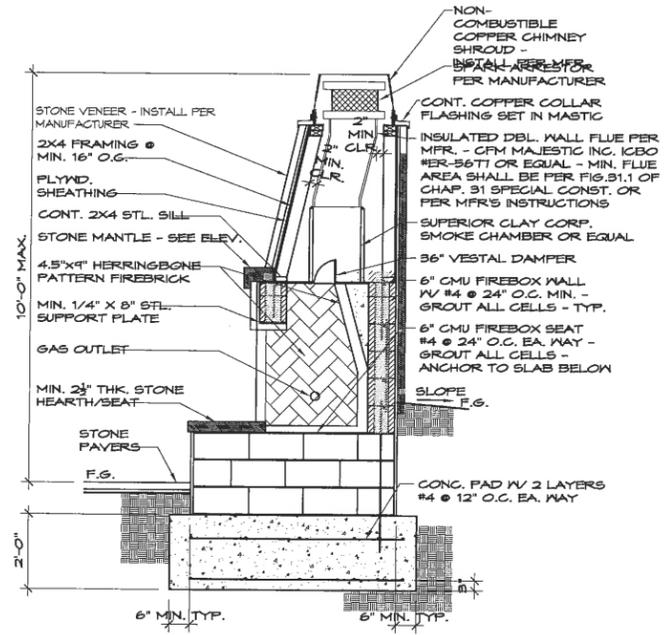
TAYLOR RESIDENCE REMODEL

NW CORNER OF CAMINO REAL AND OCEAN  
CARMEL, CA 93921  
A.P.N. 010-252-011

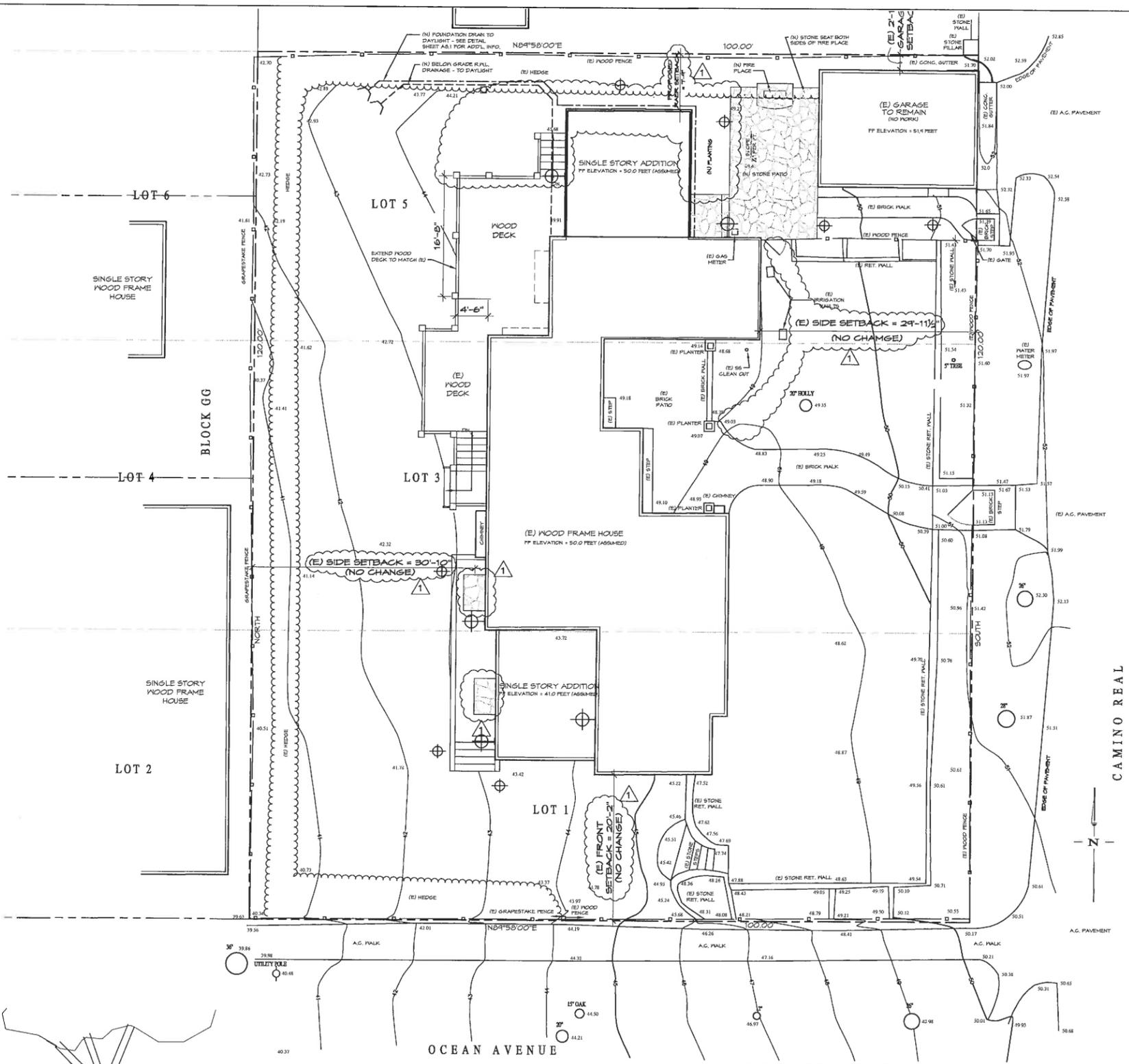
A4.1



**1 EXTERIOR FIRE PIT ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 EXTERIOR FIRE PIT SECTION**  
SCALE: 1/2" = 1'-0"



**LANDSCAPE & EXTERIOR LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**CAMINO REAL STREET ELEVATION**  
SCALE: 1/8" = 1'-0"

**PLANT LIST & SYMBOL KEY**

NEPHROLEPIS CORDIFOLIA	
VACCINIUM OVATUM	
CARPENTERIA CALIFORNICA	
ROSMARINUS TRENE	
CERCAS OCCIDENTALS	
CAMELLIA SARGANGIA SETSUGEKI	
LEPTAS CONDENSATUS CANYON PRINCE	
LIRIOPE MUSCARI SILVER DRAGON	

(7) PATH LIGHTS - 15 WATT COPPER BOLLARD



(5) WALL SCONCES 25 WATT, FROSTED GLASS



**NOTES**  
1. (E) LANDSCAPING TO REMAIN U.O.R.



**HOLDREN+LIETZKE ARCHITECTURE**

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MONTEREY, CA 93940  
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Fax: 831.649.6003  
www.hl-arc.com

DATE: 01/25/16  
SCALE: 1/8" = 1'-0"  
DRAWN: SGC  
JOB NUMBER: 14.04  
REVISION  
PLANNING COMMENTS  
03/14/16

LANDSCAPE PLAN / STREET ELEVATION

**TAYLOR RESIDENCE REMODEL**  
NW CORNER OF CAMINO REAL AND OCEAN  
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